



REMAINDER OF ERF 468 BEAUFORT WEST

APPLICATION FOR REZONING,
CONSENT USE AND PERMANENT DEPARTURE

Application prepared for:
LEBOHANG MICHEAL MBELE

Application prepared by:
WRAP Project Office
PostNet Hermanus Suite 170
Private Bag X16
Hermanus 7200
Tel: 028 313 1411
Email: admin@wrapgroup.co.za
Web: www.wrapgroup.co.za

Author
Thian Jansen (A/2858/2019)

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BEAUFORT WEST MUNICIPALITY APPLICATION FORM

BEAUFORT-WES(T)
MUNISIPALITEIT // MUNICIPALITY

LAND USE PLANNING APPLICATION FORM

(Section 15 of the By-law on Municipal Land Use Planning for Beaufort West Municipality)

KINDLY NOTE: Please complete this form using BLOCK capitals and ticking the appropriate boxes.**PART A: APPLICANT DETAILS**

First name(s)	THIAN		
Surname	JANSEN		
South African Council for Planners (SACPLAN) registration number (if applicable)	A/2858/2019		
Company name	WRAP PROJECT OFFICE		
Postal Address	POSTNET HERMANUS SUITE 170, PRIVATE BAG X16		
	HERMANUS	Postal Code	7200
Email	ADMIN@WRAPGROUP.CO.ZA		
Tel	+27 (28) 313 1411	Fax	Cell 072 122 7704

PART B: REGISTERED OWNER(S) DETAILS (If different from applicant)

Registered owner(s)	LEBOHANG MICHAEL MBELE		
Physical address	18 BIRD STREET		
	BEAUFORT WEST	Postal code	6970
E-mail	MBLLEB006@GMAIL.COM		
Tel	-	Fax	Cell 074 256 2779

PART C: PROPERTY DETAILS (in accordance with title deed)

Property description [Number(s) of Erf/Erven/Portion(s) or Farm(s), allotment area.]	REMAINDER OF ERF 468, BEAUFORT WEST		
Physical Address	18 BIRD STREET		
GPS Coordinates	-32.344348, 22.583156	Town/City	BEAUFORT WEST



Current Zoning	BUSINESS ZONE II		Extent	340 m²	Are there existing buildings?	<u>Y</u>	N
Applicable Zoning Scheme	BEAUFORT WEST MUNICIPALITY: BEAUFORT WEST MUNICIPAL STANDARD ZONING SCHEME BY-LAW, 2020						
Current Land Use	RESIDENTIAL						
Title Deed number and date	T	17104/2023					
Any restrictive conditions?	Y	<u>N</u>	If Yes, list condition(s)				
Are the restrictive conditions in favour of a third party(ies)?	Y	<u>N</u>	If Yes, list the party(ies)				
Is the property encumbered by a bond?	<u>Y</u>	N	If Yes, list bondholder(s) REFER TO BONDHOLDER'S CONSENT				
Any existing unauthorized buildings and/or land use on the subject property(ies)?	Y	<u>N</u>	If yes, is this application to legalize the building / land use?			Y	<u>N</u>
Are there any pending court case(s) / order(s) relating to the subject property(ies)?	Y	<u>N</u>	Are there any land claim(s) registered on the subject property(ies)?			Y	<u>N</u>

PART D: PRE-APPLICATION CONSULTATION

Has there been any pre-application consultation?	<u>Y</u>	N	If Yes, complete the information below and attach the minutes of the pre-application consultation.				
Official's name	C. Wright		Reference Number	12/3/2	Date of consultation	24 JULY 2024	

PART E: LAND USE PLANNING APPLICATIONS IN TERMS OF SECTION 15 OF THE BY-LAW ON MUNICIPAL LAND USE PLANNING FOR BEAUFORT WEST MUNICIPALITY AND APPLICATION FEES PAYABLE

Tick	Section	Type of application	Cost
√	2(a)	a rezoning of land;	R819.10
√	2(b)	a permanent departure from the development parameters of the zoning scheme;	R491.01
√	2(c)	a departure granted on a temporary basis to utilise land for a purpose not permitted in terms of the primary rights of the zoning applicable to the land;	R
√	2(d)	a subdivision of land that is not exempted in terms of section 24, including the registration of a servitude or lease agreement;	R
√	2(e)	a consolidation of land that is not exempted in terms of section 24;	R
√	2(f)	a removal, suspension or amendment of restrictive conditions in respect of a land unit;	R
√	2(g)	a permission required in terms of the zoning scheme;	R



√	2(h)	an amendment, deletion or imposition of conditions in respect of an existing approval;	R
√	2(i)	an extension of the validity period of an approval;	R
√	2(j)	an approval of an overlay zone as contemplated in the zoning scheme;	R
√	2(k)	an amendment or cancellation of an approved subdivision plan or part thereof, including a general plan or diagram;	R
√	2(l)	a permission required in terms of a condition of approval;	R
√	2(m)	a determination of a zoning;	R
√	2(n)	a closure of a public place or part thereof;	R
√	2(o)	a consent use contemplated in the zoning scheme;	R819.10
√	2(p)	an occasional use of land;	R
√	2(q)	to disestablish a home owner's association;	R
√	2(r)	to rectify a failure by a home owner's association to meet its obligations in respect of the control over or maintenance of services;	R
√	2(s)	a permission required for the reconstruction of an existing building that constitutes a non-conforming use that is destroyed or damaged to the extent that it is necessary to demolish a substantial part of the building.	R
TOTAL A:			R2 129.21

PRESCRIBED NOTICE AND FEES** (for completion and use by official)

Tick	Notification of application in media	Type of application	Cost
√	SERVING OF NOTICES PUBLICATION OF NOTICES	Delivering by hand; registered post; data messages	R3 285.41
√		Local Newspaper(s); <i>Provincial Gazette</i> ; site notice; Municipality's website	
√	ADDITIONAL PUBLICATION OF NOTICES	Site notice, public meeting, local radio station, Municipality's website, letters of consent or objection	R
√	NOTICE OF DECISION	<i>Provincial Gazette</i>	R1 643.83
√	INTEGRATED PROCEDURES	T.B.C	R

TOTAL B: R4 929.24

**TOTAL APPLICATION FEES*
(TOTAL A + B) R7 058.45**

* **Application fees that are paid to the Municipality are non-refundable and proof of payment of the application fees must accompany an application.**

** **The applicant is liable for the cost of publishing and serving notice of an application.**

BANKING DETAILS

Name:
 Bank:
 Branch no.:
 Account no.:
Payment reference:
 (if applicable)



PART F: DETAILS OF PROPOSAL

Brief description of proposed development / intent of application:

1. REZONING FROM BUSINESS ZONE II TO SINGLE RESIDENTIAL ZONE 1 IN TERMS OF SECTION 15(A) OF THE BY-LAW ON MUNICIPAL LAND USE PLANNING FOR BEAUFORT WEST MUNICIPALITY 2019.
2. CONSENT USE FOR A SECOND DWELLING HOUSE (>60M²) IN TERMS OF SECTION 15(O) OF THE BY-LAW ON MUNICIPAL LAND USE PLANNING FOR BEAUFORT WEST MUNICIPALITY 2019.
3. CONSENT USE FOR A SELF-CATERING FACILITY IN TERMS OF SECTION 15(O) OF THE BY-LAW ON MUNICIPAL LAND USE PLANNING FOR BEAUFORT WEST MUNICIPALITY 2019.
4. PERMANENT DEPARTURE FROM THE NORTHERN SIDE BUILDING LINE 1,5M TO 0M TO ALLOW THE EXISTING MAIN DWELLING HOUSE IN TERMS OF SECTION 15(B) OF THE BY-LAW ON MUNICIPAL LAND USE PLANNING FOR BEAUFORT WEST MUNICIPALITY 2019.
5. PERMANENT DEPARTURE FROM THE REAR BUILDING LINE 1,5M TO 0M TO ALLOW THE EXISTING SECOND DWELLING HOUSE IN TERMS OF SECTION 15(B) OF THE BY-LAW ON MUNICIPAL LAND USE PLANNING FOR BEAUFORT WEST MUNICIPALITY 2019.
6. PERMANENT DEPARTURE FROM THE SOUTHERN SIDE BUILDING LINE 1,5M TO 0,81M TO ALLOW THE EXISTING SECOND DWELLING HOUSE IN TERMS OF SECTION 15(B) OF THE BY-LAW ON MUNICIPAL LAND USE PLANNING FOR BEAUFORT WEST MUNICIPALITY 2019.
7. PERMANENT DEPARTURE FROM THE STREET BUILDING LINE FROM 3M TO 0M TO ALLOW THE EXISTING PATIO IN TERMS OF SECTION 15(B) OF THE BY-LAW ON MUNICIPAL LAND USE PLANNING FOR BEAUFORT WEST MUNICIPALITY 2019.
8. PERMANENT DEPARTURE FROM ALLOWABLE COVERAGE FROM 65% TO 67,1% IN TERMS OF SECTION 15(B) OF THE BY-LAW ON MUNICIPAL LAND USE PLANNING FOR BEAUFORT WEST MUNICIPALITY 2019.

PART G: ATTACHMENTS AND SUPPORTING INFORMATION AND DOCUMENTATION FOR LAND USE PLANNING APPLICATION [section 15(2)(a) to (s) of the By-Law on Municipal Land Use Planning for Beaufort West Municipality]

Complete the following checklist and attach all the information and documentation relevant to the proposal. Failure to submit all information and documentation required will result in the application being deemed incomplete. It will not be considered complete until all required information and documentation have been submitted.

Information and documentation required in terms of section 38(1) of said legislation

<u>Y</u>	N	Power of attorney / Owner's consent if applicant is not owner	<u>Y</u>	N	Bondholder's consent (if applicable)
Y	<u>N</u>	Resolution or other proof that applicant is authorised to act on behalf of a juristic person	Y	<u>N</u>	Proof of registered ownership or any other relevant right held in the land concerned
<u>Y</u>	N	Written motivation	<u>Y</u>	N	S.G. diagram / General plan extract
<u>Y</u>	N	Locality plan	<u>Y</u>	N	Site development plan or conceptual layout plan
Y	<u>N</u>	Proposed subdivision plan	Y	<u>N</u>	Proof of agreement or permission for required servitude
<u>Y</u>	N	Proof of payment of application fees	<u>Y</u>	N	Full copy of the title deed
Y	<u>N</u>	Conveyancer's certificate	<u>Y</u>	N	Minutes of pre-application consultation meeting (if applicable)

Supporting information and documentation:

Y	N	<u>N/A</u>	Consolidation plan	<u>Y</u>	N	N/A	Land use plan / Zoning plan
Y	N	<u>N/A</u>	Street name and numbering plan	Y	N	<u>N/A</u>	1 : 50 / 1:100 Flood line determination (plan / report)
Y	N	<u>N/A</u>	Landscaping / Tree plan				



Y	N	<u>N/A</u>	Abutting owner's consent		Y	N	<u>N/A</u>	Home Owners' Association consent
Y	N	<u>N/A</u>	Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD) (strikethrough irrelevant)		Y	N	<u>N/A</u>	Services Report or indication of all municipal services / registered servitudes
Y	N	<u>N/A</u>	Copy of original approval and conditions of approval		Y	N	<u>N/A</u>	Proof of failure of Home owner's association
Y	N	<u>N/A</u>	Proof of lawful use right		Y	N	<u>N/A</u>	Any additional documents or information required as listed in the pre-application consultation form / minutes
Y	N	<u>N/A</u>	Required number of documentation copies		Y	N	<u>N/A</u>	Other (specify)

PART H: AUTHORISATION(S) IN TERMS OF OTHER LEGISLATION

Y	<u>N/A</u>	National Heritage Resources Act, 1999 (Act 25 of 1999)		Y	<u>N/A</u>	Specific Environmental Management Act(s) (SEMA) (e.g. Environmental Conservation Act, 1989 (Act 73 of 1989), National Environmental Management: Air Quality Act, 2004 (Act 39 of 2004), National Environmental Integrated Coastal Management Act, 2008 (Act 24 of 2008), National Environmental Management: Waste Act, 2008 (Act 59 of 2008), National Water Act, 1998 (Act 36 of 1998) (strikethrough irrelevant)
Y	<u>N/A</u>	National Environmental Management Act, 1998 (Act 107 of 1998)				
Y	<u>N/A</u>	Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970)				
<u>Y</u>	N/A	Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013) (SPLUMA)				
Y	<u>N/A</u>	Occupational Health and Safety Act, 1993 (Act 85 of 1993); Major Hazard Installations Regulations				
<u>Y</u>	N/A	Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA)				
Y	<u>N</u>	If required, has application for EIA / HIA / TIA / TIS / MHIA approval been made? If yes, attach documents / plans / proof of submission etc.				
Y	<u>N</u>	If required, do you want to follow an integrated application procedure in terms of section 44(1) of the By-Law on Municipal Land Use Planning for Beaufort West Municipality? If yes, please attach motivation.				

SECTION I: DECLARATION

I hereby wish to confirm the following:

1. That the information contained in this application form and accompanying documentation is complete and correct.
2. I'm aware that it is an offense in terms of section 86(1)(e) to supply particulars, information or answers knowing the particulars, information or answers to be false, incorrect or misleading or not believing them to be correct.



3. I am properly authorized to make this application on behalf of the owner and (where applicable) that a copy of the relevant power of attorney or consent are attached hereto.
4. Where an agent is appointed to submit this application on the owner's behalf, it is accepted that correspondence from and notifications by the Municipality in terms of the by-law will be sent only to the agent and that the owner will regularly consult with the agent in this regard.
5. That this submission includes all necessary land use planning applications required to enable the development proposed herein.
6. I confirm that the relevant title deed(s) have been read and that there are no restrictive title deed restrictions, which impact on this application, or alternatively an application for removal/suspension or amendment forms part of this submission.
7. I am aware that development charges to the Municipality in respect of the provision and installation of external engineering services are payable by the applicant as a result of the proposed development.

Applicant's signature: *Jansen* Date: 22/08/2024
 Full name: THIAN JANSEN
 Professional capacity: PROFESSIONAL TOWN PLANNER
 SACPLAN registration number: (A/2858/2019)

FOR OFFICE USE ONLY

Date received: _____	Received by: _____
<div style="border: 1px solid black; width: 80%; margin: 0 auto; height: 100px; display: flex; align-items: center; justify-content: center;"> Municipal Stamp </div>	

ANNEXURES

The following Annexures are attached for your information, only if applicable:

Annexure A: Minimum requirements matrix
Annexure B: Land use planning application submission and protocol
Annexure C: Land use planning application workflow

Please do not submit these Annexures with the application form.



1. ABBREVIATIONS

BWM	Beaufort West Municipality
BWMZS	Beaufort West Municipal Standard Zoning Scheme By-law 2020
By-Law	Beaufort West Municipality By-Law on Municipal Land Use Planning 2019
PSDF	Western Cape Provincial Spatial Development Framework, 2014
LUPA	Western Cape Land Use Planning Act, 2014.
MSDF	Beaufort West Municipality Spatial Development Framework
HWC	Heritage Western Cape

2. PROPERTY DETAILS

Property	Remainder of Erf 468, Beaufort West
Erf extent	340m ²
Current zoning	Business Zone II (BZII)

3. BACKGROUND

The Remainder of Erf 468, Beaufort West, hereafter referred to as the subject property, is owned by Lebohang Michael Mbele. The property is located in the heart of Beaufort West in close proximity to the large traffic circle located on the N1, refer **Plan 1 – Locality Plan**. The property was purchased as an investment, with the owner intending to renovate it and create two self-catering units. The property owner has instructed WRAP Project Office to submit a land use application on their behalf (refer to **Annexure A - Power of Attorney**).

The property is not currently zoned for the intended use, and the proposal is to rezone it to achieve the owner's objectives. The proposed alterations will include the renovation and modernisation of both dwellings. The second dwelling house is larger than 60m², necessitating approval of a consent from the municipality.

The proposed rezoning will allow the owner to utilise the property as intended. The proposal is to rezone the property to Single Residential Zone 1. This zoning is considered less obtrusive than a business zoning, as it aligns with the uses of the surrounding properties in the area. However, the proposed zoning is more restrictive in terms of coverage and building lines, which is addressed in this application.

Approval of the following applications are required:

- Rezoning from Business Zone II to Single Residential Zone I;
- Consent use for a second dwelling house;
- Consent use for a self-catering facility;
- Permanent departure from building lines; and
- Permanent departure from the allowable coverage.



4. PROCEDURE TO ACHIEVE THE OWNER’S INTENT

WRAP Project Office was appointed to compile and submit a land use planning application to achieve the vision highlighted in Section 3 of this report. The following is proposed:

4.1 Rezoning from Business Zone II to Single Residential Zone 1 in terms of Section 15(a) of the By-Law on Municipal Land Use Planning for Beaufort West Municipality 2019.

The property was purchased in 2023 by the owner with the intention of utilizing it as an investment property. Historically, the property has been improved with two dwelling units and has never been used exclusively for business purposes. The goal is to align the use of the property with its zoning.

The area surrounding the property features various zonings, though the predominant uses are residential and business oriented. The proposed use is not expected to be out of the ordinary for the area, as Beaufort West is renowned for self-catering and tourist accommodation establishments due to its location along the N1.

This decision is motivated by a desire to create a more harmonious and less disruptive presence within the community. The proposed use for the erf, involving the renovation of the existing dwelling and the second dwelling, is intended to better fit the neighbourhood’s residential character. Additionally, it is seen as an opportunity to enhance and introduce additional economic activity into an area with limited options, thereby contributing to the long-term growth and vitality of the community. By realigning the property with the prevailing residential context, the owner hopes to foster a sense of unity and coherence within the surrounding area.

Proposed Rezoning	
Current Zoning	Proposed Zoning
Business Zone II (BZII)	Single Residential Zone I (SRZI)

4.2 Consent use for a Second Dwelling House (>60m²) in terms of Section 15(o) of the By-Law on Municipal Land Use Planning for Beaufort West Municipality 2019.

The property is already improved with two dwellings, but the second dwelling exceeds 60m² in extent, necessitating the municipality's consent. Allowing the larger second dwelling unit offers several advantages.

Firstly, it promotes efficient land use. The existing space on the property is already developed, and utilizing the larger second dwelling maximizes the efficient use of land without the need for additional infrastructure. This aligns with sustainable development principles, minimising urban sprawl and preserving open spaces.

Additionally, there is a growing demand for diverse housing options, particularly in areas like Beaufort West, which attracts tourists and transient workers. The larger second dwelling can provide comfortable, self-catering accommodation, catering to this demand while also supporting the local economy.

Economically, permitting the larger unit will contribute to the local economy by increasing the availability of quality accommodations. This, in turn, can attract more visitors and potentially create jobs, aligning with the municipality's objectives of promoting economic development and supporting local businesses.



The larger second dwelling also maintains consistency with the character of the surrounding area. The neighbourhood already features a mix of residential and business uses, and the larger second dwelling is consistent with the character of the neighbourhood. Given Beaufort West's reputation as a hub for tourist accommodation, the second dwelling enhances the property's utilisation without disrupting the established community dynamic.

Moreover, the impact on local infrastructure would be minimal. Since the property is already developed and the necessary services are in place, the larger dwelling is unlikely to put additional strain on traffic, parking, or utilities.

Lastly, approving the larger second dwelling could increase the property's overall value, positively affecting the municipality's tax base. Higher property values can translate into greater revenue for the municipality, which can be reinvested into local services and infrastructure.

In summary, by approving the larger second dwelling supports sustainable development, boosts the local economy, and contributes to the community's overall growth and vitality.

4.3 Consent use for a Self-catering Facility in terms of Section 15(o) of the By-Law on Municipal Land Use Planning for Beaufort West Municipality 2019.

The proposal is to use both the main dwelling and the second dwelling as self-catering units. This is not expected to negatively impact the surrounding area, as both houses can be used for this purpose without major alterations and can still easily function as a main dwelling and a second dwelling.

Allowing the self-catering units on the property would provide significant benefits to both the community and the local economy. Beaufort West is a well-known stopover for travellers along the N1, and the demand for quality, self-catering accommodation in the area is consistently high. By converting both the main dwelling and the second dwelling into self-catering units, the property would cater to this demand, offering travellers comfortable and convenient lodging options. This not only aligns with the town's reputation as a tourist destination but also provides a valuable service to visitors, encouraging longer stays and increased spending in the area.

Furthermore, the proposed self-catering units would be seamlessly integrated into the existing property without requiring major alterations. This ensures that the residential character of the neighbourhood is preserved, minimizing any potential disruptions to the surrounding community. Both dwellings retain their ability to function as primary and secondary residences, meaning the property's flexibility is maintained. This adaptability is a strong argument for approval, as it ensures that the property's use can evolve with future needs while still supporting the local tourism industry.

In addition, the introduction of self-catering units would enhance the economic viability of the property, contributing positively to the local economy. Increased tourist accommodation options can attract more visitors, creating opportunities for local businesses and generating additional revenue for the municipality. This aligns with broader municipal goals of fostering economic development and supporting local entrepreneurs.

Overall, the proposed self-catering units would provide a balanced approach to property use, ensuring economic benefits while maintaining the integrity of the neighbourhood. The flexibility, minimal impact on the community, and potential to boost local tourism make a strong case for allowing these units to operate as intended.



The owner will not reside on the property but will actively manage it to ensure smooth operations and guest satisfaction. By focusing on providing a well-maintained and professional service, the owner can ensure that the property meets high standards without needing to be physically present. This approach allows for efficient management while also ensuring that any potential issues are promptly addressed, contributing to a positive experience for guests and maintaining the property's reputation.

Moreover, having dedicated management in place helps to mitigate any concerns from the community about the property's operations. Regular oversight and responsive management ensure that the property remains a well-run establishment that contributes positively to the local tourism industry without disrupting the surrounding neighbourhood. This professional approach further reinforces the suitability of the property as two self-catering units.

4.4 Permanent Departure in terms of Section 15(b) of the By-Law on Municipal Land Use Planning for Beaufort West Municipality 2019.

As mentioned in Section 3, the current zoning's development parameters are less stringent than the proposed zoning which has less available coverage and building lines that are more restrictive. As a result, the existing structures are exceeding the proposed development parameters of the proposed zoning:

BUILDING LINES

The property has two existing dwellings. The proposal is to renovate and modernize these existing dwellings to ensure that they can be used for their intended purpose and as a result of the new zoning the existing dwelling and second dwelling is encroaching on the building lines.

Proposed Building Lines Departures		
Building Line:	From:	To allow:
Northern Side Building Line	1,5m to 0m	the existing main dwelling house
Rear Building Line	1,5m to 0m	the existing second dwelling house
Southern Side Building Line	1,5m to 0,81m	the existing second dwelling house
Street Building Line	3m to 0m	the existing covered patio

As illustrated on the site plan (refer to **Plan 4 – Site Plan**), none of the encroachments are new. The proposal involves only internal alterations. These modifications are designed to better accommodate guests' needs in both the main dwelling and the second dwelling. The focus on internal changes ensures that the external footprint of the property remains unchanged, preserving the current layout and maintaining consistency with the surrounding area. This approach minimizes any potential impact on the neighbourhood while enhancing the functionality of the property for its intended use as self-catering units.

COVERAGE

Several additions are being made to the property, one of which actually reduces the coverage by removing an existing covered room between the main house and the second dwelling.

Despite this change, the existing structures will still exceed the allowable coverage under the new zoning parameters. However, no additional structures are being proposed, and the renovations will



MOTIVATION

be limited to internal modifications. Additionally, the property will undergo external maintenance to ensure it remains in good condition and aligns with the overall aesthetic of the neighbourhood.

Coverage	
Allowable Coverage	Proposed Coverage
65% (221m ²)	67,1% (228,4m ²)

5. LAND USE ENVIRONMENT

The property is situated within an area characterized by a diverse mix of zoning classifications. The surrounding area's zoning is illustrated in **Plan 2** (Zoning Plan).

6. TITLE DEED

The title deed (T17104/2023) does not contain any restrictive conditions which may prohibit the approval of the proposal on the subject property.

7. ZONING

The following zoning parameters were assessed in conjunction with the current and proposed zonings of the zoning scheme.

CURRENT ZONING - Business Zone II (BZII)			
	Parameters	Current Use	
Primary use	Shop	Dwelling House	
Consent use that may be applied for	Adult shop, Conference facility, Dwelling house, Flats (on ground floor), Freestanding base telecommunication station, Liquor store, Open air motor vehicle display, Place of assembly, Place of instruction, Place of leisure, Place of worship, Renewable energy structure, Restaurant, Rooftop base telecommunication station, Service station, Supermarket	None	
Development parameters			
Coverage	The maximum coverage of all buildings on a land unit	75%	
Building Lines	<ul style="list-style-type: none"> Common boundary Street boundary 	<ul style="list-style-type: none"> 0m 0m 	
PROPOSED ZONING - Single Residential Zone I (SRZI)			
Land Use Restrictions			
	Parameters	Proposal	Comply/ deviate
Primary use	Dwelling House	<ul style="list-style-type: none"> Dwelling House 	Comply
Consent use that may be applied for	Crèche, Guest house, Halfway house, Home care facility, House shop, Second dwelling (>60m²), Self-catering facility	<ul style="list-style-type: none"> Second dwelling (>60m²) Self-catering facility 	Applied for and motivated



Development parameters			
Coverage	The maximum coverage for all buildings on the land unit is determined in accordance with the net erf area: Greater than 250 m ² , but not exceeding 500 m ² = 65%	67,1%	Deviate, applied for and motivated
Height	The maximum height of a building, measured from the base level to the top of the structure, is 8,5 m.	Existing Structures - Maximum 7,05m	Comply
Building lines	(i) The street building line is determined in accordance with the net erf area: Greater than 250 m ² , but not exceeding 500 m ² = 3m	Proposed permanent departure from the street building line from 3m to 0m to allow the existing patio.	Deviate, applied for and motivated
	(ii) The side and rear building lines are determined in accordance with the net erf area: Greater than 250 m ² , but not exceeding 500 m ² = 1,5m	<ul style="list-style-type: none"> Proposed permanent departure from the Northern Side Building Line 1,5m to 0m to allow the existing main dwelling house. Proposed permanent departure from the Rear Building Line 1,5m to 0m to allow the existing second dwelling house. Proposed permanent departure from the Southern Side Building Line 1,5m to 0,81m to allow the existing second dwelling house. 	Deviate, applied for and motivated
Parking	Garages and carports	Three parking bays are provided	Comply

8. SERVICES

The availability of services is a relevant consideration in terms of Section 42(1)(c)(v) of SPLUMA and is herewith illustrated.

Electricity, Water, Sewage and Solid Waste

The subject property is connected to the existing services network which includes electricity, water, sewage and solid waste. The use of property will not change (residential of nature) meaning the self-catering facility is not expected to have more of an impact on the services.

Access and Egress

Vehicular access, and egress is currently being gained from Bird Street and the proposal will not affect this.



9. NEED AND DESIRABILITY

The need and desirability of the approval and implementation of this proposal in accordance with the By-Law can be illustrated as follow:

Need and desirability

The need for the proposed development arose from the property owner's vision to be able to optimise the utilisation of the entire extent of the subject property.

<p>Socio-economic impact</p>	<p>The proposal to establish self-catering units on the property is expected to have several positive socio-economic impacts on the local community:</p> <p><u>Boosting Local Tourism</u> The conversion of the property into self-catering units will directly contribute to the local tourism industry, which is a vital economic driver in Beaufort West. Given the town's strategic location along the N1 and its popularity as a stopover destination, the additional accommodation options will attract more visitors. This influx of tourists will benefit local businesses such as restaurants, shops, and service providers, stimulating economic growth and increasing revenue streams within the community.</p> <p><u>Job Creation and Economic Opportunities</u> The operation of the self-catering units may create new job opportunities, from property management and maintenance to cleaning and guest services. Local suppliers and service providers can also benefit from partnerships with the property, further boosting the local economy. The increased demand for goods and services can lead to additional employment opportunities, providing economic benefits to residents and contributing to overall community development.</p> <p><u>Supporting Small Businesses</u> By catering to tourists, the self-catering units will indirectly support small businesses in the area. Local entrepreneurs can capitalise on the increased foot traffic, offering products and services that cater to visitors. This symbiotic relationship between the property and local businesses helps strengthen the local economy and promotes entrepreneurship.</p> <p><u>Enhancing Property Values</u> The investment in the property through renovations and maintenance will enhance its value, which can positively impact surrounding properties as well. As the area becomes more attractive to visitors, property values in the vicinity may increase, benefiting homeowners and contributing to the municipality's tax base. This additional revenue can be reinvested in public services and infrastructure, further enhancing the community's quality of life.</p>
------------------------------	--



MOTIVATION

	<p><u>Promoting Sustainable Development</u> The proposal aligns with sustainable development principles by repurposing existing structures rather than expanding the property's footprint. This approach minimises environmental impact while maximising economic potential. By maintaining and enhancing the property for tourism purposes, the proposal supports long-term sustainability and economic resilience in the community.</p>
Compatibility with surrounding uses	The property will be used for residential purposes albeit tourist related, it will still be used for the accommodation of people which is considered compatible with the surrounding area.
Impact on the external engineering services	Refer to Section 8 of the motivational report above.
Impact on safety, health and wellbeing of the surrounding community	It is not expected that the proposal will have an impact on the safety, health and wellbeing of the surrounding community.
Impact on heritage	The subject property is older than 60 years, and HWC has approved the proposed alterations.
Impact on the biophysical environment	The proposal is not expected to have a negative effect on the environment.
Traffic impacts, parking, access and other transport related considerations	Adequate parking as required is provided and is not expected to have a negative impact on the surrounding area.

Impact on views, sunlight and character of the area

The proposal is intended to use the existing structures on the property with some slight renovations, none of which will have any impact on the views, sunlight and character of the surrounding area.

Economic impact

Various role players will be employed and involved in the whole process. Jobs will be created on a temporary basis for all those role players involved, while on a more permanent basis, more rates and taxes will be collected by the municipality.

Opportunity cost

An opportunity cost in the context of land use planning refers to a development proposal which leads to the devaluation or foregoing valued land use rights of interested and affected parties when an application is approved. The proposed use will increase the surrounding property's value as more economic opportunities will be created.

Impact on heritage

None of the provisions in the National Heritage Resources Act, 1999 are triggered by this proposal. The structures however are older than 60 years and the proposed renovations have been approved by HWC.

Environmental impact

No listed activities in terms of the National Environmental Management Act are triggered by this proposal.



10. POLICIES AND REGULATIONS

PROVINCIAL SPATIAL DEVELOPMENT FRAMEWORK - PSDF

Policy preface

The PSDF is a product of a provincial inter departmental and inter-governmental collaboration under the guidance of the interdepartmental steering committee with the private sector, academia, and non-governmental organisations. This broad participatory process has created a shared spatial vision which is intended to inform spatial development patterns of urban areas in the province.

Consistency of the proposal with the policy

Throughout the framework, the process of infill planning is emphasised. Section 3.3.7 states that densification should take place using infill planning and should be the first choice. The proposed tourist accommodation proposal allows the use of the property more effectively than was previously allowed utilising existing infrastructure for new proposals.

MUNICIPAL SPATIAL DEVELOPMENT FRAMEWORK – MSDF

Policy Preface

The SDF's intention is to ensure compliance with national, provincial and district legislation policies and principles. The SDF aims to provide sufficient guidance regarding what constitutes appropriate spatial development land uses and direction within the urban edge. The SDF was drafted after considering input from other state departments and the public and provides a shared spatial vision which development proposals should ideally attempt to synchronise with.

Consistency of the proposal with the policy

The policy promotes the general principles that need to be aspired to, of which infill development is also indicated to. The use of the property for more than just single residential purposes will ensure the property is used and occupied.

The SDF promotes enabling of development in sustainable sectors which include retail, tourism and accommodation (Section 5.9.2.4 - MSDF). The proposal to accommodate additional tourist accommodation within the existing urban area should be encouraged as it will allow new opportunities to renovate and ensure the existing structures are used to their full potential unlocking new economic opportunities.

11. PLANNING PRINCIPLES

Chapter 2 of SPLUMA contains 5 uncompromisable planning principles which each development application must be guided by. Policy proposals in SPLUMA which are pertinent to this proposal are recorded below:

Spatial justice

Spatial justice refers to planning proposals which do not contribute towards the perpetuation of apartheid spatial development imbalances. This proposal is not expected to perpetuate apartheid spatial development imbalances.



Spatial sustainability

Spatial sustainability refers to planning proposals which result in communities that are viable. This proposal to utilise both dwelling units for a self-catering unit intends to ensure the subject property is utilised to its maximum capabilities. The proposed densification is a sustainable method to create new properties without requiring additional land.

Efficiency

This proposal is intended to maximise the usage of the subject property and ensure the property has sufficient space to provide two self-catering units.

Spatial resilience

This proposal is not in conflict with any spatial planning policies or other BWM regulations which is a hallmark of resilience.

Good administration

The BWM has a credible track record of good administration regarding the method of public participation which invites and accepts comments from the public to make an informed decision as well as complying with the prescribed time frames pertaining to the processing of applications.



12. EVALUATION

In conclusion, the proposal for renovating the property and establishing self-catering units is well-aligned with existing spatial planning policies and aims to optimize the use of space efficiently. By capitalising on the accommodation capabilities of the property without majorly altering existing structures, the development supports sustainable growth while enhancing the local residential landscape.

The project's adherence to relevant policies and the involvement of various specialised professionals, including town planners, architects, land surveyors, and construction personnel, ensures that the proposal will be carried out with expertise and attention to detail. Each role player will contribute to a well-coordinated and effective implementation of the proposal.

Overall, the proposed development is poised to positively impact the community by increasing residential options, boosting local tourism, and fostering economic growth. The careful planning and execution of this project will contribute to the long-term vitality and sustainability of the area, making it a valuable addition to the community.

13. RECOMMENDATION

Based on the abovementioned motivation, it is recommended that the following be approved:

- 13.1 Rezoning** from Business Zone II to Single Residential Zone 1 in terms of Section 15(a) of the By-Law on Municipal Land Use Planning for Beaufort West Municipality 2019.
- 13.2 Consent use for a Second Dwelling House (>60m²)** in terms of Section 15(o) of the By-Law on Municipal Land Use Planning for Beaufort West Municipality 2019.
- 13.3 Consent use for a Self-catering Facility** in terms of Section 15(o) of the By-Law on Municipal Land Use Planning for Beaufort West Municipality 2019.
- 13.4 Permanent departure** from the Northern Side Building Line 1,5m to 0m to allow the existing main dwelling house in terms of Section 15(b) of the By-Law on Municipal Land Use Planning for Beaufort West Municipality 2019.
- 13.5 Permanent departure** from the Rear Building Line 1,5m to 0m to allow the existing second dwelling house in terms of Section 15(b) of the By-Law on Municipal Land Use Planning for Beaufort West Municipality 2019.
- 13.6 Permanent departure** from the Southern Side Building Line 1,5m to 0,81m to allow the existing second dwelling house in terms of Section 15(b) of the By-Law on Municipal Land Use Planning for Beaufort West Municipality 2019.
- 13.7 Permanent departure** from the street building line from 3m to 0m to allow the existing patio in terms of Section 15(b) of the By-Law on Municipal Land Use Planning for Beaufort West Municipality 2019.
- 13.8 Permanent departure** from allowable coverage of 65% to 67,1% in terms of Section 15(b) of the By-Law on Municipal Land Use Planning for Beaufort West Municipality 2019.



PLAN 1: LOCALITY PLAN

1. Locality Plan Erf 468 - Beaufort West



Subject property

Plan prepared by: Veronica Jansen

Tel: 028 313 1411

Email: admin@wrapgroup.co.za

Unit B, Standard House,
Corner of Royal and Dirkie Uys
Street Hermanus, 7200



Project Office

Town Planning & Project Management



8600

2027

2811

Molteno Street

Bird Street

Garcia Street

72

471

470

6262

468

5886

646

469

477 1260 478

479

5368

489

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6775





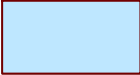
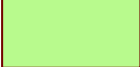
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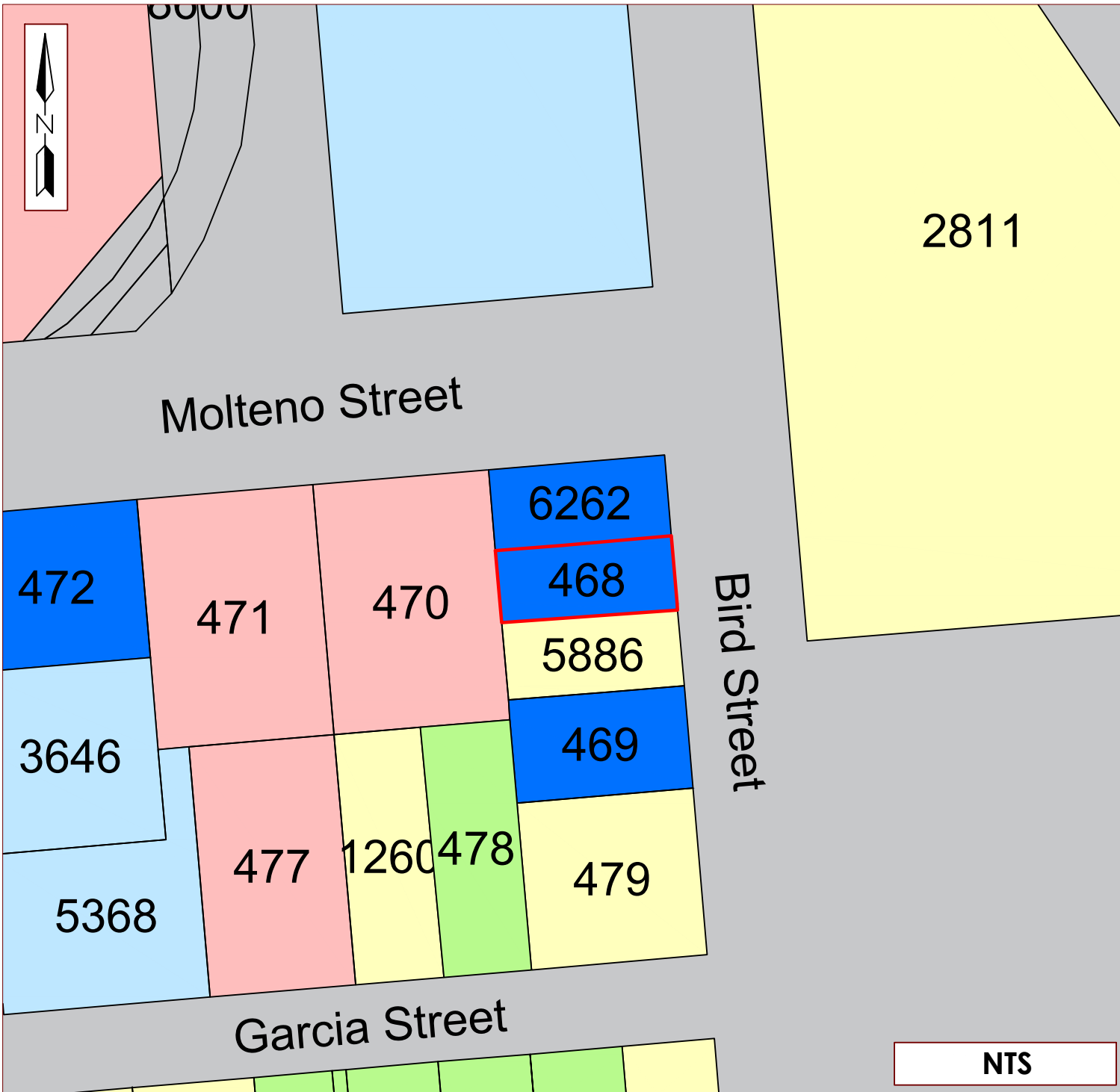
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PLAN 2: ZONING PLAN

2. Zoning Plan
Erf 468 - Beaufort West

-  Single Residential Zone I (SRZI)
-  Authority Zone (AZ)
-  Transport Zone II (TZII)
-  Business Zone II (BZII)
-  Business Zone VI (BZVI)
-  Resort Zone (RZ)



NTS

Plan prepared by: Veronica Jansen

All distances are approximate
and subject to a survey

Tel: 028 313 1411

Email: admin@wrapgroup.co.za

Unit B, Standard House,
Corner of Royal and Dirkie Uys
Street Hermanus, 7200





PLAN 3: AERIAL PLAN



3. Aerial Plan Erf 468 - Beaufort West

Plan prepared by: Veronica Jansen

All distances are approximate
and subject to a survey

Tel: 028 313 1411

Email: admin@wrapgroup.co.za

Unit B, Standard House,
Corner of Royal and Dirkie Uys
Street Hermanus, 7200

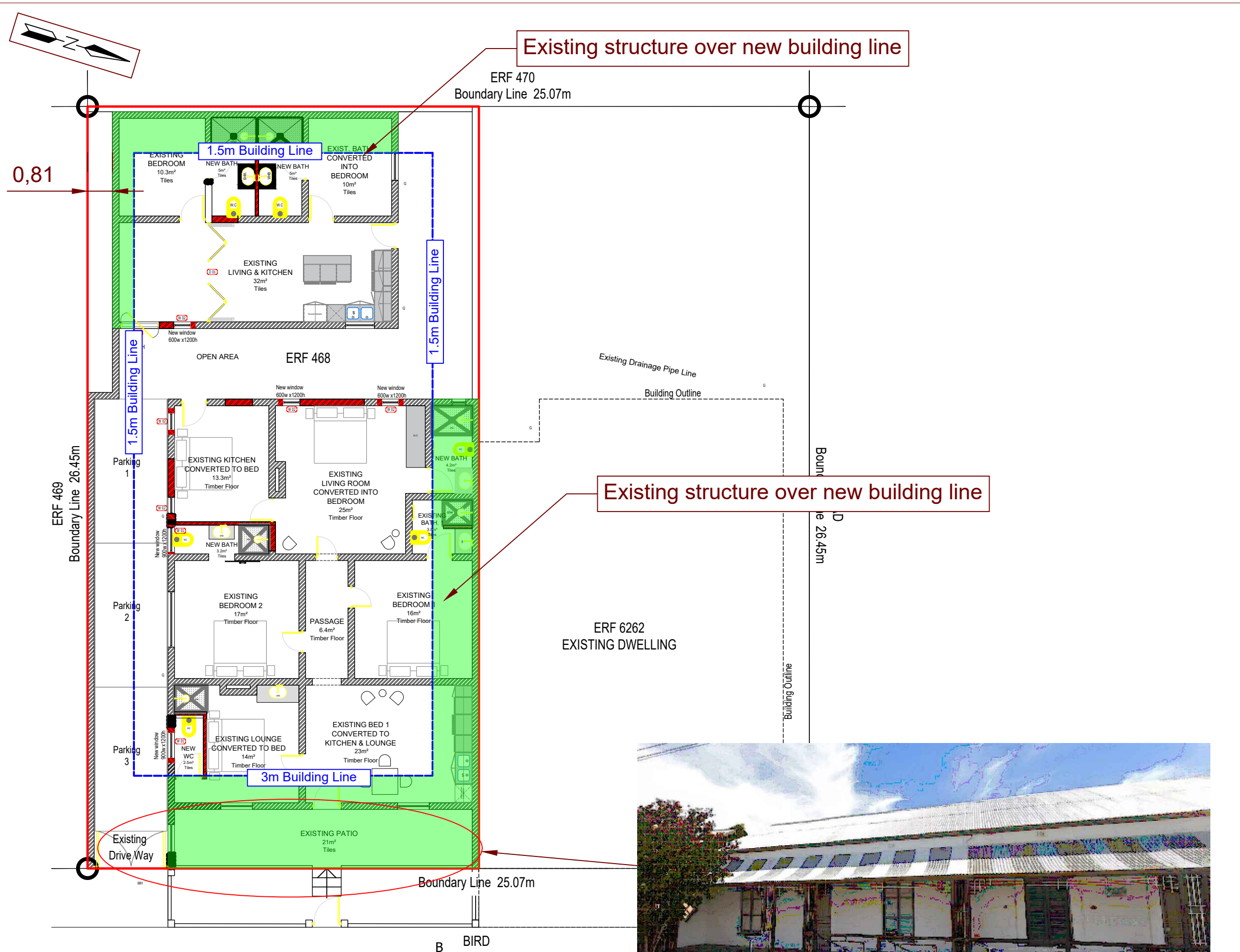
NTS



Project Office
Town Planning & Project Management



PLAN 4: SITE PLAN



Existing structure over new building line

Existing structure over new building line



4. Site Plan
Erf 468 Beaufort West

Area Schedule

Existing Main Dwelling:
±153,8m²

Existing Second Dwelling:
±74,6m²

Existing Patio: ±21m²

Total Area: ±228,4m²
Total Coverage: 67,1%

Plan prepared by: Thian Jansen on 2024/08/19
Based on plans from Holloway & Davel Architects

Plan Number - 24/25A (001)

All distances are approximate
and subject to a survey

Tel: 028 313 1411

Email: admin@wrapgroup.co.za

Unit B, Standard House,
Corner of Royal and Dirkie Uys
Street Hermanus, 7200

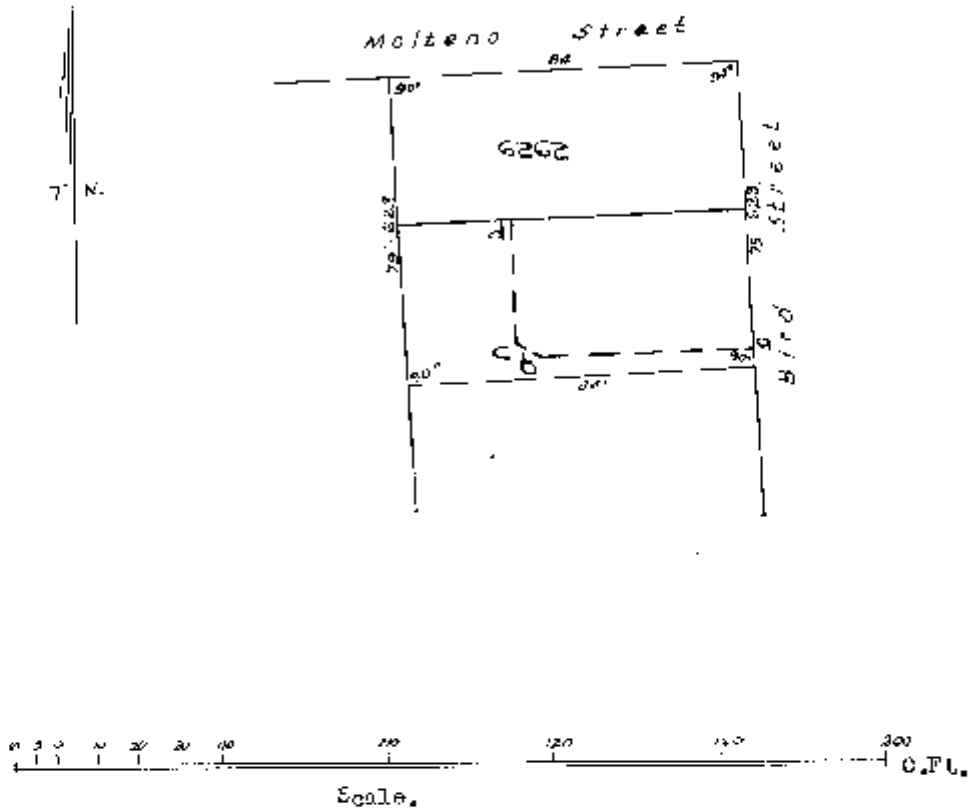
SCALE 1 : 125





PLAN 5: SURVEYOR GENERAL DIAGRAM

The numerical data of this diagram are sufficiently consistent.
 (Sgd.) L. Marquard,
 Examiner.



NO. 877 NO. 268 BEAUFORT WEST.

The above Diagram, colored yellow, represents 46 Sq. Ris, 64 Sq. Feet & 48 Sq. Inches of Ground, situate in the Division of Beaufort, being portion of the land granted to the Commissioners of Beaufort, for the time being on the 29th November, 1873, & being Lot 91, situate in the town of Beaufort West.

Extending	North	to	Moltano Street
	South	"	Lot 92
	East	"	Bird Street
	West	"	Lot 90

Framed from actual Survey by me,

(Sgd.) C. B. Elere,
 Government Surveyor.
 Beaufort West.
 April, 1874.

Transfer ... 355

19th March, 1875.

P.J. Alport tld. under the style of
 P.J. Alport and Company.

28/5/1957.

C E - 4 A 0/2.132 (2 344)

FOR ENDORSEMENTS
 SEE BACK OF DIAGRAM

v.d.M./R.B.

S.B.S.

965

THE FOLLOWING CORRECTIONS HAVE BEEN MADE FROM THIS DIAGRAM

SURVEY RECORD NO.	DIAGRAM NO.	SUBJECT	AREA HA. NO. M.	TRANSFER NO.	INITIALED	RECORDED
E 2419/96	E 2417/96	EXP 6262	323 m ²	349/97	WJ	

CORRECTIONS TO SURVEY RECORDS

SURVEY RECORD	DIAGRAM NO.	DESCRIPTION	RECORDED	INITIALED
E 2419/96	2417/96	The line abcd represents the E of a common P.L. 100m wide.	349/97	WJ



ANNEXURE A: POWER OF ATTORNEY

POWER OF ATTORNEY

I, the undersigned


LEBOHANG MICHAEL MBELE
ID NUMBER: 951110 5849 084

In my capacity as the owner of **THE REMAINDER OF ERF 468 BEAUFORT WEST**, hereby nominate, constitute and appoint WRAP Project Office (Pty) Ltd (Reg No 2022/349604/07), with power of substitution, to be the duly authorised attorney and agent in name, place and stead, which may be necessary in order to sign documents, obtain building plans and to perform all such acts which may be necessary in connection with the following applications:

- **REZONING FROM BUSINESS ZONE 2 TO SINGLE RESIDENTIAL ZONE 1;**
- **CONSENT USE FOR A SECOND DWELLING HOUSE;**
- **PERMANENT DEPARTURE OF BUILDING LINES; AND**
- **PERMANENT DEPARTURE OF THE ALLOWABLE COVERAGE.**

and generally for effecting the purposes aforesaid, to do or cause to be done whatever shall be requisite, as fully and effectual, for all intents and purposes as I might or could do if personally present and acting herein – hereby ratifying, allowing, confirming, promising and agreeing to ratify, allow and confirm all and whatsoever my said Agent shall lawfully do, or cause to be done, by virtue of these presents.

SIGNED AT Beaufort ON THIS 19^t DAY OF AUGUST 2024
West h



LM MBELE



WITNESS

Tatenda

NAME OF WITNESS



WITNESS

Wilson

NAME OF WITNESS



ANNEXURE B: COPY OF THE TITLE DEED

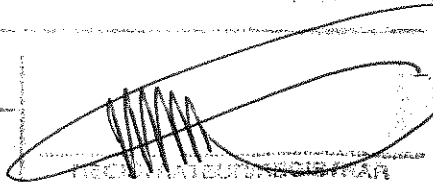
CRAWFORDS ATTORNEYS
36 DONKIN STREET
BEAUFORT WEST
6970
DOCEX 1, BEAUFORT WEST

Prepared by me,


CONVEYANCER
JANINE FOUCHE
LPCM60411

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price	R. 620 000,00	R. 1126,00
All other		
Reason for exemption	Category Exemption	Exemption I t o. Sec/Reg Act/Proc

DATA / VERIFY
19-05-2023
PHUMELELA MNAMATA

VERBIND MORTGAGED
VIN FOR R. 626 037,00
000009449 / 2023
09 MAY 2023


T 000017101 / 2023

DEED OF TRANSFER

DATA / CAPTURE
18-05-2023
YOLANDI OLIVIER

BE IT HEREBY MADE KNOWN:

THAT JANINE FOUCHE (LPCM 60411)

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, he/she, the said Appearer, being duly authorised thereto by a Power of Attorney granted to him/her by

1. ROSALBA GIUSEPPINA SCHOLTZ
Identity Number 710506 0143 08 8
Married Out of Community of Property
2. ROSARIO VISCARDI
Identity Number 820523 5138 08 5
Unmarried
3. MARCELLO VISCARDI
Identity Number 700329 5107 08 7
Unmarried

dated 6 March 2023 and signed at Beaufort West

Crawfords

LegalSuite (Version 4.5532)
DeedOfTransferConventional.doc

Form E



AND the said Appearer declared that his/her principal had on **6 February 2023** truly and legally sold by Private Treaty and that he/she, the said Appearer in his/her capacity aforesaid, did, by these presents cede and transfer to and on behalf of:

LEBOHANG MICHAEL MBELE
Identity Number 951110 5849 08 4
Unmarried

his heirs, executors, administrators or assigns in full and free property:

REMAINDER OF ERF 468 BEAUFORT WEST
IN THE MUNICIPALITY AND DIVISION OF BEAUFORT WEST
PROVINCE WESTERN CAPE

IN EXTENT: 340 (THREE HUNDRED AND FORTY) Square Metres

FIRST TRANSFERRED by Deed of Transfer No. T355/1875 dated 13 March 1875 with Diagram relating thereto and held by Deed of Transfer No. T22335/2013.

A. SUBJECT to the conditions referred to in Deed of Transfer No T2075/1901.

② ↗

↗

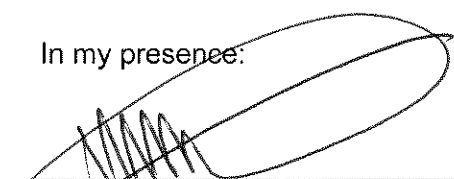
WHEREFORE the Appearer, renouncing all the right, title and interest which the said **1. ROSALBA GIUSEPPINA SCHOLTZ, Married Out of Community of Property, 2. ROSARIO VISCARDI, Unmarried and 3. MARCELLO VISCARDI, Unmarried** heretofore had to the premises, did, in consequence also acknowledge them, to be entirely dispossessed of, and disentitled to, the same; and that, by virtue of these presents, the said **LEBOHANG MICHAEL MBELE, Unmarried**, his heirs, executors, administrators or assigns now is and henceforth shall be entitled thereto, conformably to local custom, the State, however, reserving its rights, and finally acknowledging the purchase price of the property hereby transferred to be the sum of **R620 000,00 (SIX HUNDRED AND TWENTY THOUSAND RANDS)**.

IN WITNESS WHEREOF I, the said Registrar of Deeds together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE AND EXECUTED at the Office of the REGISTRAR OF DEEDS at **CAPE TOWN** on

09 MAY 2023

q.q. Signature of Appearer

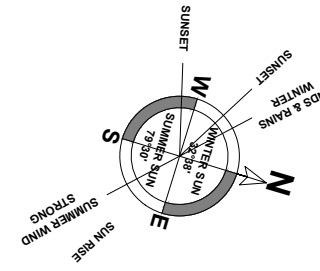
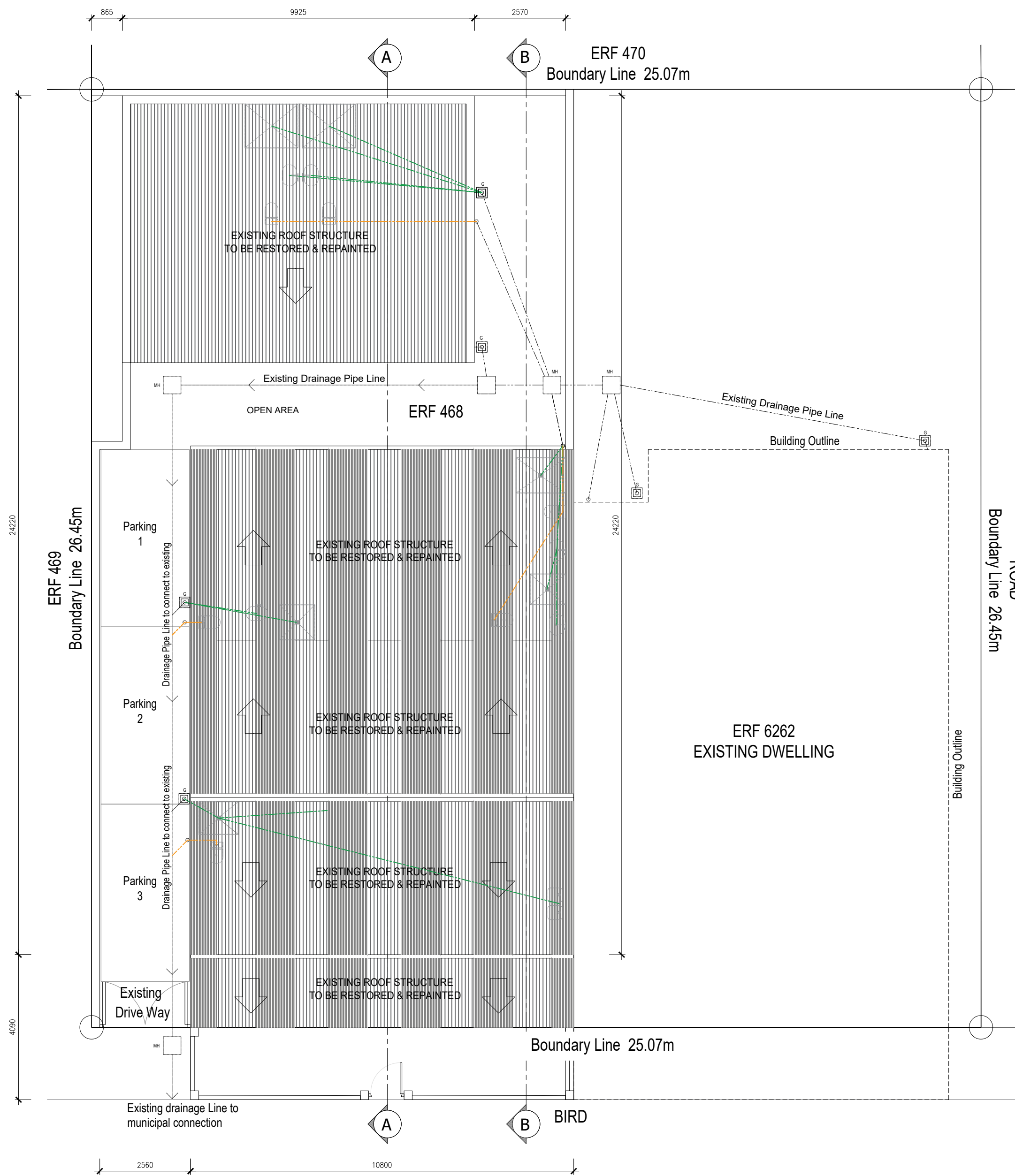
In my presence:


Registrar of Deeds





ANNEXURE C: ARCHITECT'S BUILDING PLAN



SITE & ROOF PLAN
SCALE 1:100

Heritage Western Cape
Erfenis Wes-Kaap
ILifa leMveli leNtshona Koloni

18 September 23

[Signature]

APPROVED

GENERAL NOTES:

COPYRIGHT RESERVED BY HOLLOWAY & DAVEL ON ALL DESIGNS AND DOCUMENTATION.
NO DRAWINGS TO BE SCALED
ALL MEASUREMENTS, HEIGHTS AND LEVELS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION AND ADAPTED TO SUGGESTED BUILDING WORK.
ANY DISCREPANCY OR CONTRADICTION TO BE DISCUSSED WITH THE ARCHITECT IMMEDIATELY.
ALL DIMENSIONS INDICATED ON PLAN TO BE SET OUT ON A LEVEL HORIZONTAL PLANE.
ALL BRICKWORK TO BE SET OUT USING A PROFILE MARKED 85mm C/C.
THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECT SETTING OUT OF THE BUILDING WORK ON SITE WITH PARTICULAR REFERENCE TO SITE BOUNDARIES, SERVITUDES AND BUILDING LINES.
THE CONTRACTOR IS TO BUILD IN APPROVED D.P.C.'s TO ALL EXTERNAL WALLS, UNDER FLOORS AND UNDER WINDOW SILL.
QUALITY OF ALL MATERIAL AND CRAFTSMANSHIP TO COMPLY WITH THE RELEVANT S.A.B.S STANDARDS.
THE CONTRACTOR SHOULD HAVE A FULL SET OF DRAWINGS AVAILABLE ON SITE AT ALL TIMES.
THE CONTRACTOR IS RESPONSIBLE FOR HIS OWN QUALITY CONTROL.
ALL FLOOR LEVELS SHOWN ON THIS DRAWING REFER TO UNFINISHED FLOOR LEVELS.

GENERAL NOTES:

GENERAL:
Boundary pegs to be pointed out by owner. Contractor must check all levels, dimensions, steps etc. on site, and report all discrepancies to the designer. All work to comply with the National Building Regulations
FLOORS AND SLABS:
Ground floor slab: 85mm thick, 20MPa minimum concrete, perfectly level, min 150mm above g.l. on properly compacted hardcore. 25mm thick screed and finishes as indicated. These floors must be cast on min 50mm thick polystyrene foam and foam is to be installed around perimeter of room to insulate floor from wall.
DPC under all walls (except free standing), floors & window sills & to all vertical changes in floor levels.
FOUNDATIONS AND BRICKWORK
All foundations to be minimum 10MPa concrete (2 sacks cement: 4 wheelbarrows river sand: 5 wheelbarrows 22mm stone) at least 200mmx600mm, min. 200mm under ground level or to eng. details.
NOTE: THESE ARE MINIMUM REQUIREMENTS ONLY
Lintels to be supported min. 150mm for openings up to 3,0m and at least 220mm for openings up to 4,8m.
Brickforce to be built in every course below floor level and above window level, every third course between, in continuous bands.

DRAINAGE:
All sewers to be 100mm dia. PVC min. fall 1:60, Max fall 1:10.
Open end of vent pipe to be min. 2,0m above any opening.
Stub vents to be fitted with an approved 2-way vent-valve.
Stacks in ducts to be accessible for cleaning purposes.
All bends and junctions in sewer to be fitted with ie's, all re's under paving to be fitted with marked covers.
Protect drain under foundations in accordance with PP24 of SABS 0400.
All waste fittings to have reseal traps and pipe to be fully accessible if under floors, with ie's either end or clamped to wall.
Any sewer pipe not deeper than 350mm under ground level (i.e. -46) to be covered with a concrete slab, wide and strong enough to protect the sewer, with min 100mm soil between pipe and concrete.
The radius at the centerline of bend of the foot of discharge stack, shall be not less than 300mm and other bends: 600mm.
Where any waste or soil branches are connected to a stack the centre line of the waste branch shall not intersect the stack within 200mm below the centre line of the soil branch.
Sewer connection : as shown: with rodding eye ormanhole within 1,5m from connection.

AREA SCHEDULE		
DESCRIPTION OF STRUCTURE	AREA	TOTAL
EXISTING MAIN DWELLING	153.8 m ²	
EXISTING FLATLET	74.6 m ²	
EXISTING PATIO	21 m ²	
TOTAL AREA		228.4m ²
SITE		340 m ²
TOTAL COVERAGE		67.1%

CLIENT / CLIENT REPRESENTATIVE :
Mr & Mrs MBELE

IT IS AGREED THAT THE CLIENT, BY ITS SIGNATURE TO THIS DRAWING, ACCEPTS AND APPROVES INFORMATION CONTAINED HEREIN.

[Signature]
Christiaan Davel
Professional Architect
SACAP Registration:
PrArch38855809

[Signature]
Daleen Holloway
Prof Srv Arch. Tech
SACAP Registration:
PSAT 20714

PROJECT STATUS:
NOTE : THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED ACCORDINGLY

TITLE	TITLE
SITE & ROOF PLAN	
SKAAL	As Indicated
GETEKEN	T.M
NAGESIEN	C.D
DATUM	2023/08/14
SCALE	
DRAWN	
CHECKED	
DATE	

FOR COUNCIL

PROPOSED ALTERATIONS TO EXISTING DWELLING ON ERF 468 BEAUFORT WEST FOR Mr & Mrs MBELE

TEK. NO. 2023_27__001_REV 00

Unit 4, Myrtle House
2 Church Street,
Hermanus 7200
Daleen Holloway - Pr Srv Arch T
SACAP Registration - PSAT20714
daleen@hollowayndavel.com
079 502 6645

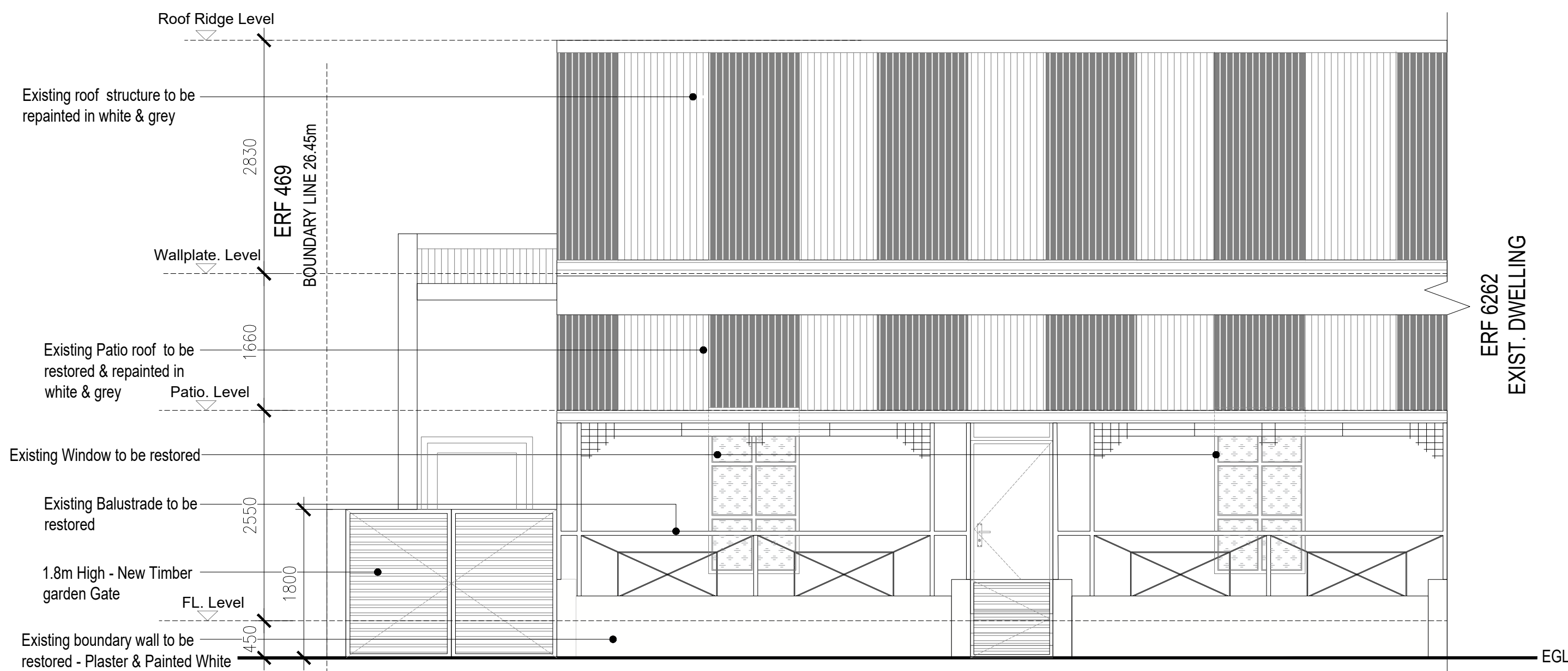
Christiaan Davel- PrArch
SACAP Registration-PrArc 38855809
christiaan@hollowayndavel.com
082 923 3515



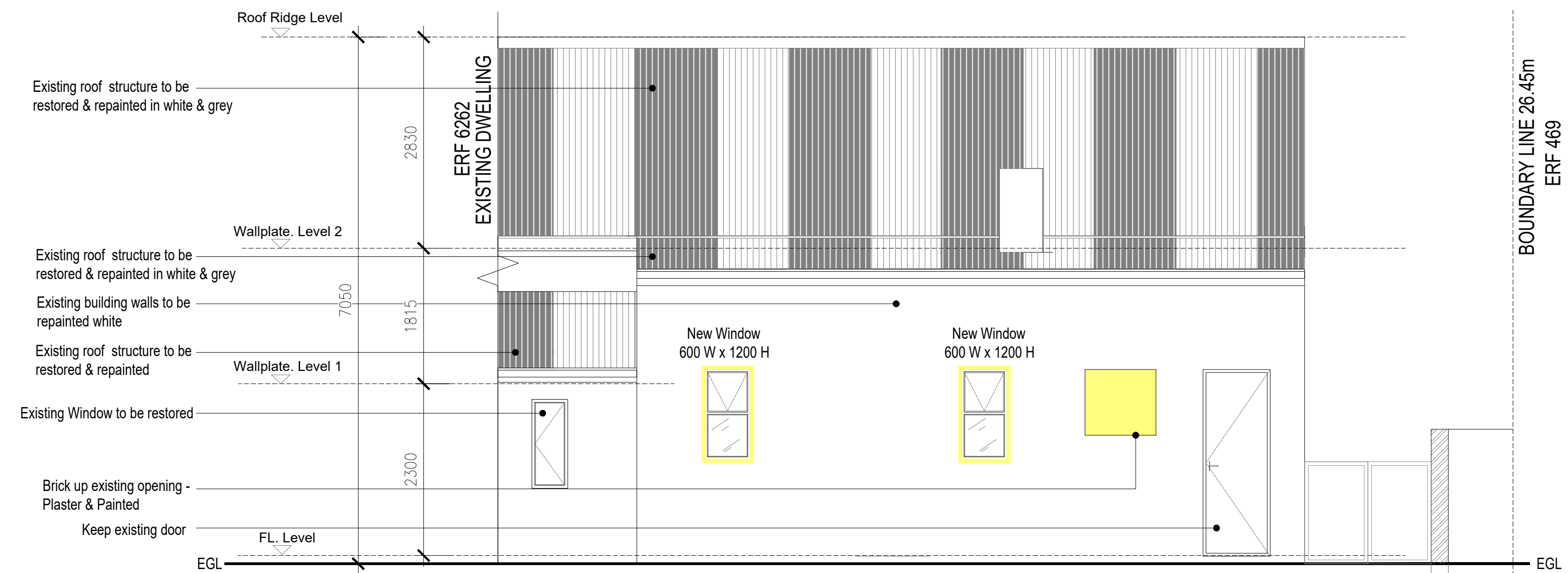
IF IN DOUBT ASK DONT ASSUME



SOUTH ELEVATION A-A | SCALE 1:50



NORTH EAST ELEVATION | SCALE 1:50



WEST ELEVATION | SCALE 1:50

GENERAL NOTES:

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 NO DRAWINGS TO BE SCALED.
 ALL MEASUREMENTS, HEIGHTS AND LEVELS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION AND ADAPTED TO SUGGESTED BUILDING WORK.
 ANY DISCREPANCY OR CONTRADICTION TO BE DISCUSSED WITH THE ARCHITECT IMMEDIATELY.
 ALL DIMENSIONS INDICATED ON PLAN TO BE SET OUT ON A LEVEL HORIZONTAL PLANE.
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 THE CONTRACTOR IS RESPONSIBLE FOR HIS OWN QUALITY CONTROL.
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 DPC under all walls (except free standing), floors & window sills & to all vertical changes in floor levels.
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AREA SCHEDULE

DESCRIPTION OF STRUCTURE	AREA	TOTAL
EXISTING MAIN DWELLING	153.8 m ²	
EXISTING FLATLET	74.6 m ²	
EXISTING PATIO	21 m ²	
TOTAL AREA		228.4m ²
SITE		340 m ²
TOTAL COVERAGE		67.1%

CLIENT / CLIENT REPRESENTATIVE:

Mr & Mrs MBELE
 IT IS AGREED THAT THE CLIENT, BY ITS SIGNATURE TO THIS DRAWING, ACCEPTS AND APPROVES INFORMATION CONTAINED HEREIN.
 Christian Davel
 Professional Architect
 SACAP Registration:
 PrArch38855809

Daleen Holloway
 Prof Srv Arch Tech
 SACAP Registration:
 PSAT 20714

PROJECT STATUS:
 NOTE: THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED ACCORDINGLY

TITLE	TITLE	PROJEK	PROJECT
ELEVATIONS		PROPOSED ALTERATIONS TO EXISTING DWELLING ON ERF 468	BEAUFORT WEST FOR Mr & Mrs MBELE
SKAAL	As Indicated	TEK. NO.	DRWG. NR.
GETEKEN	T.M	2022_23_003_REV 00	
NAGESIEN	C.D		
DATUM	2023/08/14		

FOR COUNCIL

TEK. NO.	DRWG. NR.	WWW
		www.hollowayanddavel.com

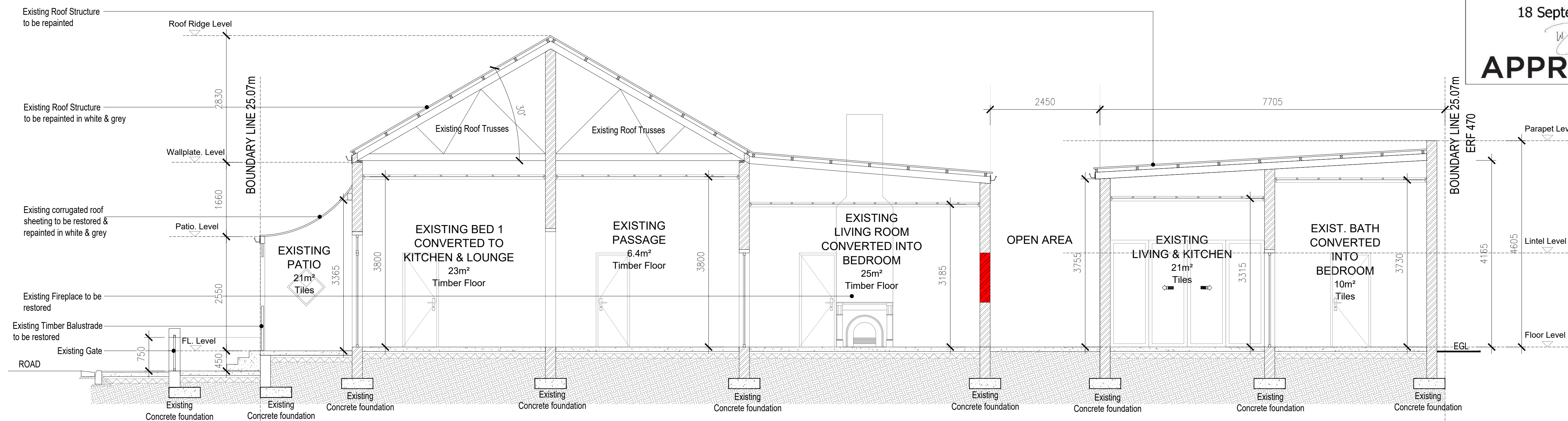
Unit 4, Myrtle House
 2 Church Street,
 Hermanus 7200
 Daleen Holloway - Pr Srv Arch T
 SACAP Registration - PSAT20714
 daleen@hollowayanddavel.com
 079 502 6645
 Christian Davel- PrArch
 SACAP Registration- PrArc 38855809
 christian@hollowayanddavel.com
 082 923 3515



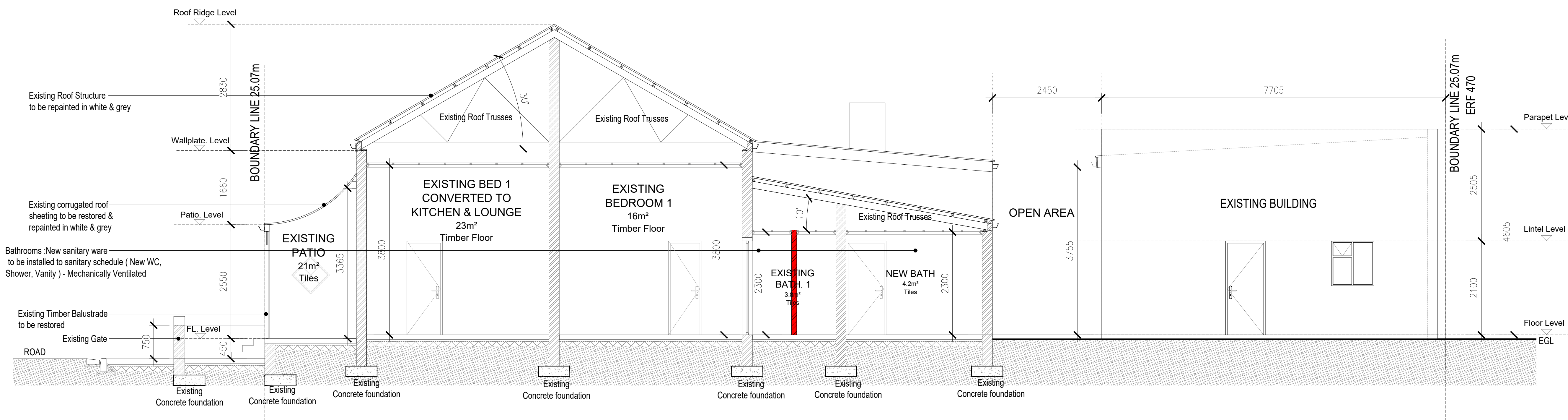
IF IN DOUBT ASK DONT ASSUME

18 September 23

APPROVED



SECTION A-A | SCALE 1:50



SECTION B-B | SCALE 1:50

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SACAP Registration:
PSAT 20714
PROJECT STATUS:
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TITLE	TITLE	SCALE	DATE
SECTIONS	As Indicated	SCALE	
SKAAL	T.M	DRAWN	
GETEKEN	C.D	CHECKED	
NAGESIEN	2023/08/14	DATE	
DATUM	FOR COUNCIL		

PROJEN
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TEK. NO. 2023_27_004_REV 00
DRWG. NR.
Unit 4, Myrtle House
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Hermanus 7200
Daleen Holloway - Pr Srv Arch T
SACAP Registration - PSAT20714
daleen@hollowaydavel.com
079 502 6645
Christian Davel- PrArch
SACAP Registration-PrArc 38855809
christiaan@hollowaydavel.com
082 923 3515
www.hollowaydavel.com



IF IN DOUBT ASK DONT ASSUME

MEASURE WINDOW ON SITE BEFORE MANUFACTURING		MEASURE WINDOW ON SITE BEFORE MANUFACTURING		MEASURE WINDOW ON SITE BEFORE MANUFACTURING		MEASURE DOOR ON SITE BEFORE MANUFACTURING	
W-01		W-02		D-01		D-02	
CATALOGUE NR.	CUSTOM MADE ALUMINIUM WINDOW	CATALOGUE NR.	CUSTOM MADE ALUMINIUM WINDOW	CATALOGUE NR.	CUSTOM MADE TIMBER FOLD - A - SIDE DOOR	CATALOGUE NR.	CUSTOM MADE TIMBER PIVOT DOOR
DESCRIPTION	CUSTOM MADE TIMBER WINDOW FOR NEW WC & BATH WITH SAFETY GLASS	DESCRIPTION	CUSTOM MADE TIMBER WINDOW FOR EXISTING BEDROOM & CONVERTED LOUNGE TO BEDROOM AND FLATLET WITH SAFETY GLASS	DESCRIPTION	CUSTOM MADE TIMBER DOOR FOR FLATLET LOUNGE WITH SAFETY GLASS	DESCRIPTION	CUSTOM MADE TIMBER PIVOT DOOR FOR FLATLET LOUNGE WITH SAFETY GLASS
GLAZING	DOUBLE GLAZING CLEAR SAFETY GLASS. GLAZING TO BE IN ACCORDANCE WITH AAAMSA, SAGGA AND SANS 10400	GLAZING	DOUBLE GLAZING CLEAR SAFETY GLASS. GLAZING TO BE IN ACCORDANCE WITH AAAMSA, SAGGA AND SANS 10400	GLAZING	DOUBLE GLAZING CLEAR SAFETY GLASS. GLAZING TO BE IN ACCORDANCE WITH AAAMSA, SAGGA AND SANS 10400	GLAZING	DOUBLE GLAZING CLEAR SAFETY GLASS. GLAZING TO BE IN ACCORDANCE WITH AAAMSA, SAGGA AND SANS 10400
FINNISH	FINISH AND TREATMENT TO BE TO MANUFACTURERS SPEC. COLOUR TO MATCH EXISTING WINDOWS AND DOORS	FINNISH	FINISH AND TREATMENT TO BE TO MANUFACTURERS SPEC. COLOUR TO MATCH EXISTING WINDOWS AND DOORS	FINNISH	FINISH AND TREATMENT TO BE TO MANUFACTURERS SPEC. COLOUR TO MATCH EXISTING WINDOWS AND DOORS	FINNISH	FINISH AND TREATMENT TO BE TO MANUFACTURERS SPEC. COLOUR TO MATCH EXISTING WINDOWS AND DOORS
LINTEL & SILL	PRECAST CONCRETE LINTELS ABOVE ALL OPENINGS PLASTERED WINDOW REVEAL AND INNER SILL PRECAST CEMENT OUTER WINDOW SILL SEAL PROPERLY WITH SILICONE AROUND FRAME, ACCORDING TO MANUFACTURER'S SPECIFICATIONS	LINTEL & SILL	PRECAST CONCRETE LINTELS ABOVE ALL OPENINGS PLASTERED WINDOW REVEAL AND INNER SILL PRECAST CEMENT OUTER WINDOW SILL SEAL PROPERLY WITH SILICONE AROUND FRAME, ACCORDING TO MANUFACTURER'S SPECIFICATIONS	LINTEL & SILL	PRECAST CONCRETE LINTELS ABOVE ALL OPENINGS PLASTERED WINDOW REVEAL AND INNER SILL PRECAST CEMENT OUTER WINDOW SILL SEAL PROPERLY WITH SILICONE AROUND FRAME, ACCORDING TO MANUFACTURER'S SPECIFICATIONS	LINTEL & SILL	PRECAST CONCRETE LINTELS ABOVE ALL OPENINGS PLASTERED WINDOW REVEAL AND INNER SILL PRECAST CEMENT OUTER WINDOW SILL SEAL PROPERLY WITH SILICONE AROUND FRAME, ACCORDING TO MANUFACTURER'S SPECIFICATIONS
IRONMONGERY	AS PER DOOR MANUFACTURERS SPECIFICATIONS	IRONMONGERY	AS PER DOOR MANUFACTURERS SPECIFICATIONS	IRONMONGERY	AS PER DOOR MANUFACTURERS SPECIFICATIONS	IRONMONGERY	AS PER DOOR MANUFACTURERS SPECIFICATIONS
QUANTITY	REFER TO PLAN	QUANTITY	REFER TO PLAN	QUANTITY	REFER TO PLAN	QUANTITY	REFER TO PLAN
GENERAL NOTES:		GENERAL NOTES:		GENERAL NOTES:		GENERAL NOTES:	
ALL DIMENSIONS TO BE CONFIRMED ON SITE BEFORE ANY WORK IS PUT IN HAND. ALL GLAZING TO BE IN ACCORDANCE WITH AAAMSA, SAGGA AND SANS 10160 SANS 10137 SANS 10400 PART N SANS 1263 PROVISION SHOULD BE MADE FOR STRUCTURAL SUPPORT WHERE APPLICABLE. QUANTITIES TO BE CONFIRMED ON PLANS		ALL DIMENSIONS TO BE CONFIRMED ON SITE BEFORE ANY WORK IS PUT IN HAND. ALL GLAZING TO BE IN ACCORDANCE WITH AAAMSA, SAGGA AND SANS 10160 SANS 10137 SANS 10400 PART N SANS 1263 PROVISION SHOULD BE MADE FOR STRUCTURAL SUPPORT WHERE APPLICABLE. QUANTITIES TO BE CONFIRMED ON PLANS		ALL DIMENSIONS TO BE CONFIRMED ON SITE BEFORE ANY WORK IS PUT IN HAND. ALL GLAZING TO BE IN ACCORDANCE WITH AAAMSA, SAGGA AND SANS 10400		ALL DIMENSIONS TO BE CONFIRMED ON SITE BEFORE ANY WORK IS PUT IN HAND. ALL GLAZING TO BE IN ACCORDANCE WITH AAAMSA, SAGGA AND SANS 10400	

GLAZING GENERAL NOTES:

- The contractor is responsible for checking all levels & dimensions on site when setting out & prior to commencing construction. Read only figured dimensions & do not scale. Any discrepancies are to be reported in writing to dws - sa prior to continuation of work.
- The contractor is responsible for the glazing being executed in strict conformance with glass manufacturer's recommendations & all in accordance with the National Building Regulations Part N, SANS 10137, SANS 1263-1 & AAAMSA Selection Guide for Safety Glazing Materials. A certificate of compliance is to be issued to dws - sa on completion of the work.
- The contractor is responsible for providing a warranty for laminated glass & / or the hermetically sealed glazing units against delamination & colour degradation for a period of not less than 5 years, to be issued to dws - sa
- All Safety Glazing materials (individual panes) are to be permanently marked. Such marking shall be visible after glazing.
- In the case of structural glazing written proof is to be provided that all stages of fabrication & installation have been executed with disciplined quality assurance in accordance with the relevant parts of SANS ISO 9000. Written confirmation of compatibility of structural sealant with extrusion surface, glazing tape & glass is to be supplied by the structural sealant manufacturer together with the regular relevant test reports regarding the adhesion of the sealant to the aluminium frame in accordance with ASTM/C 734-80 [Standard Test for Adhesion-in-Peel of Elastomeric Joint Sealants]
- Glass sizes & thickness is to be designed for the relevant wind load, to be confirmed by a suitably qualified competent person. Any deviations from the schedules are to be reported in writing to dws - sa prior to manufacture.

WINDOW & DOOR SCHEDULE | SCALE 1:50

Heritage Western Cape
Erfenis Wes-Kaap
iLifa leMveli leNtshona Koloni

18 September 23

[Signature]

APPROVED

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[Signatures]

Chrisiaan Davel
Professional Architect
SACAP Registration: PrArch38855809

Daleen Holloway
Prof Srv Arch Tech
SACAP Registration: PSAT 20714

PROJECT STATUS:
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FOR COUNCIL

TITEL	TITLE	PROJEK	PROJECT
WINDOW & DOOR SCHEDULE	WINDOW & DOOR SCHEDULE	PROPOSED ALTERATIONS TO EXISTING DWELLING ON ERF 468 BEAUFORT WEST FOR Mr & Mrs MBELE	PROPOSED ALTERATIONS TO EXISTING DWELLING ON ERF 468 BEAUFORT WEST FOR Mr & Mrs MBELE
SKAAL	As Indicated	SCALE	SCALE
GETEKEN	T.M	DRAWN	DRAWN
NAGESIEN	C.D	CHECKED	CHECKED
DATUM	2023/08/14	DATE	DATE

TEK. NO. 2023_27__005_REV 00

DRWG. NR.

Unit 4, Myrtle House
2 Church Street,
Hermansrus 7200

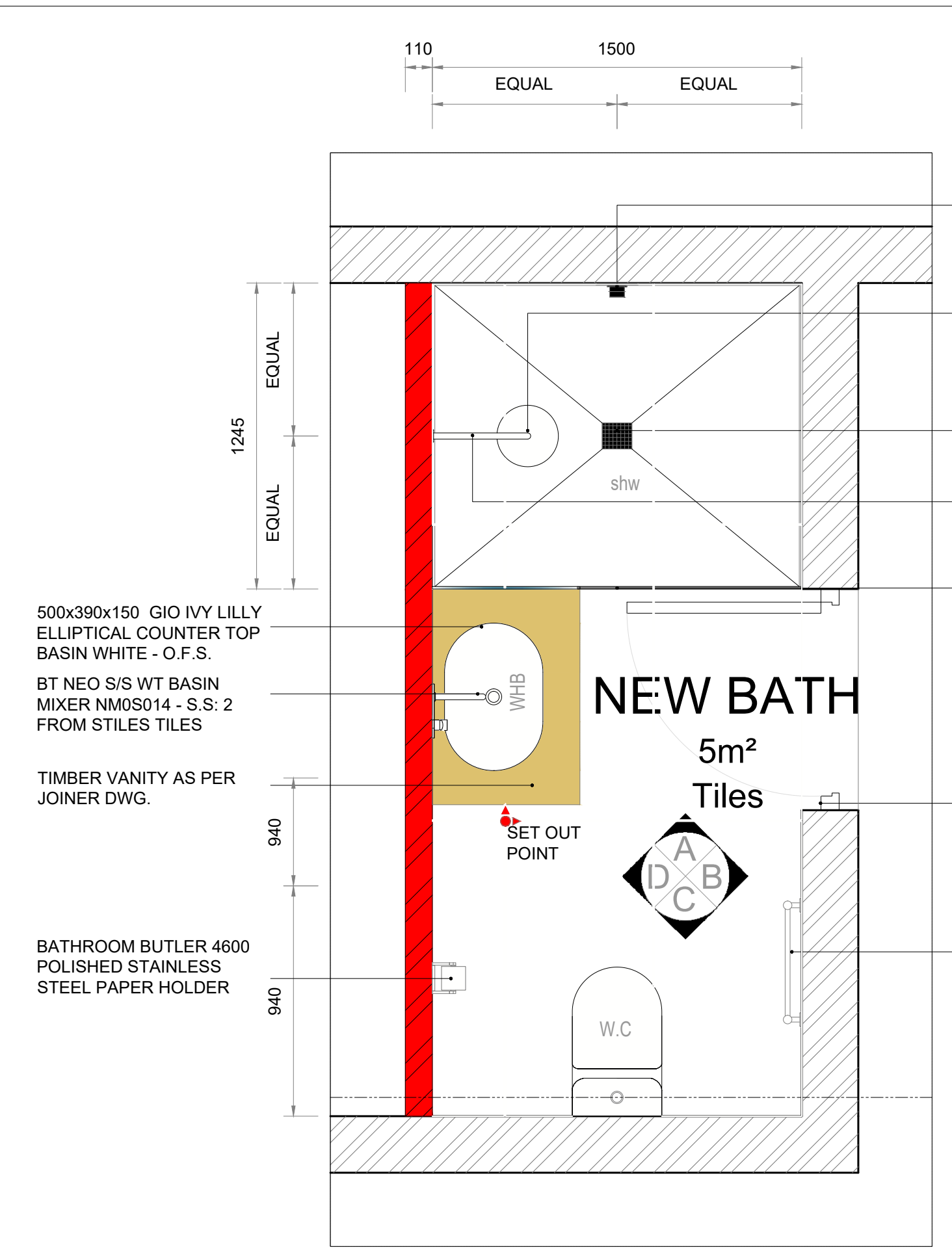
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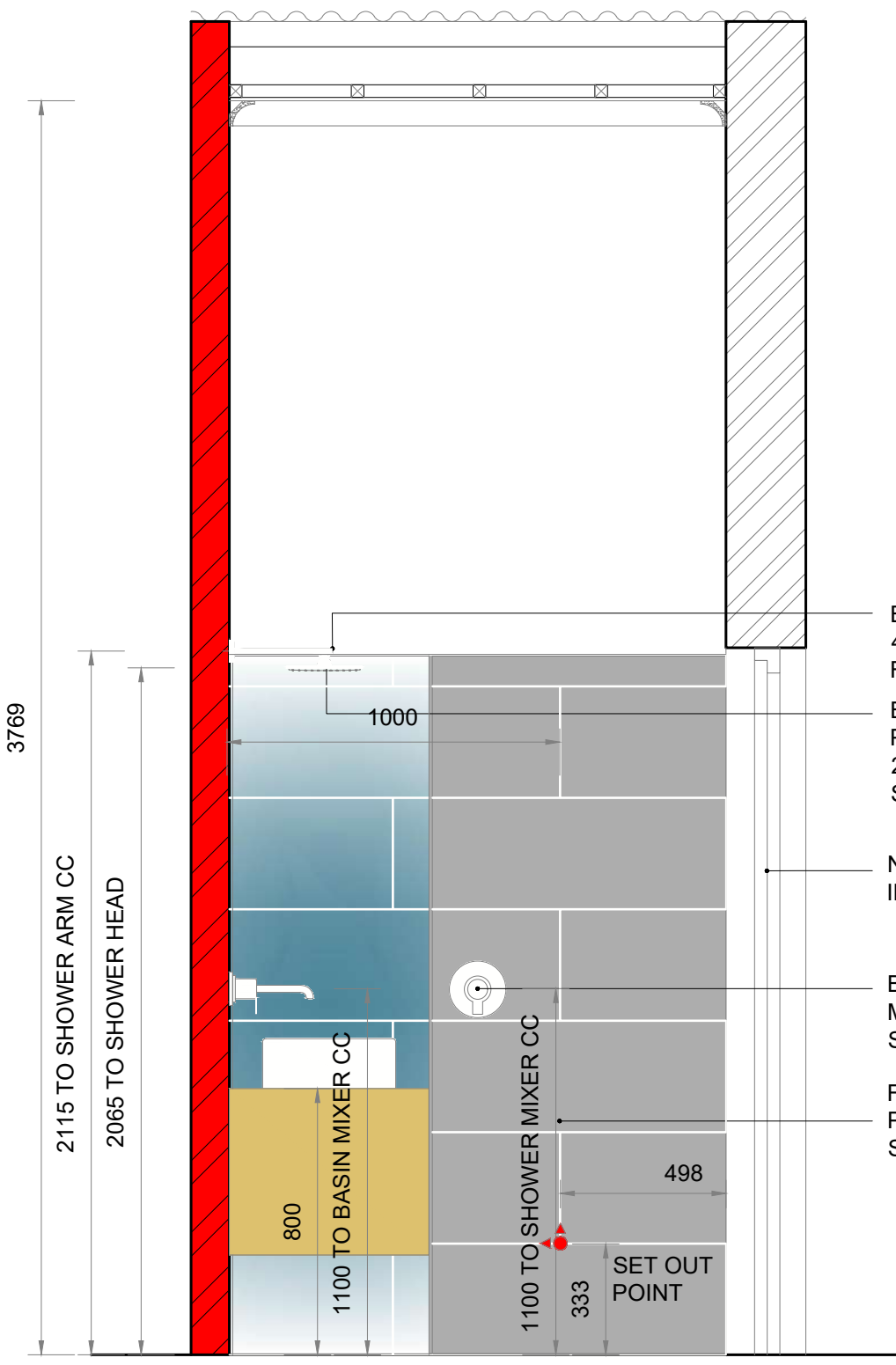


IF IN DOUBT ASK DONT ASSUME

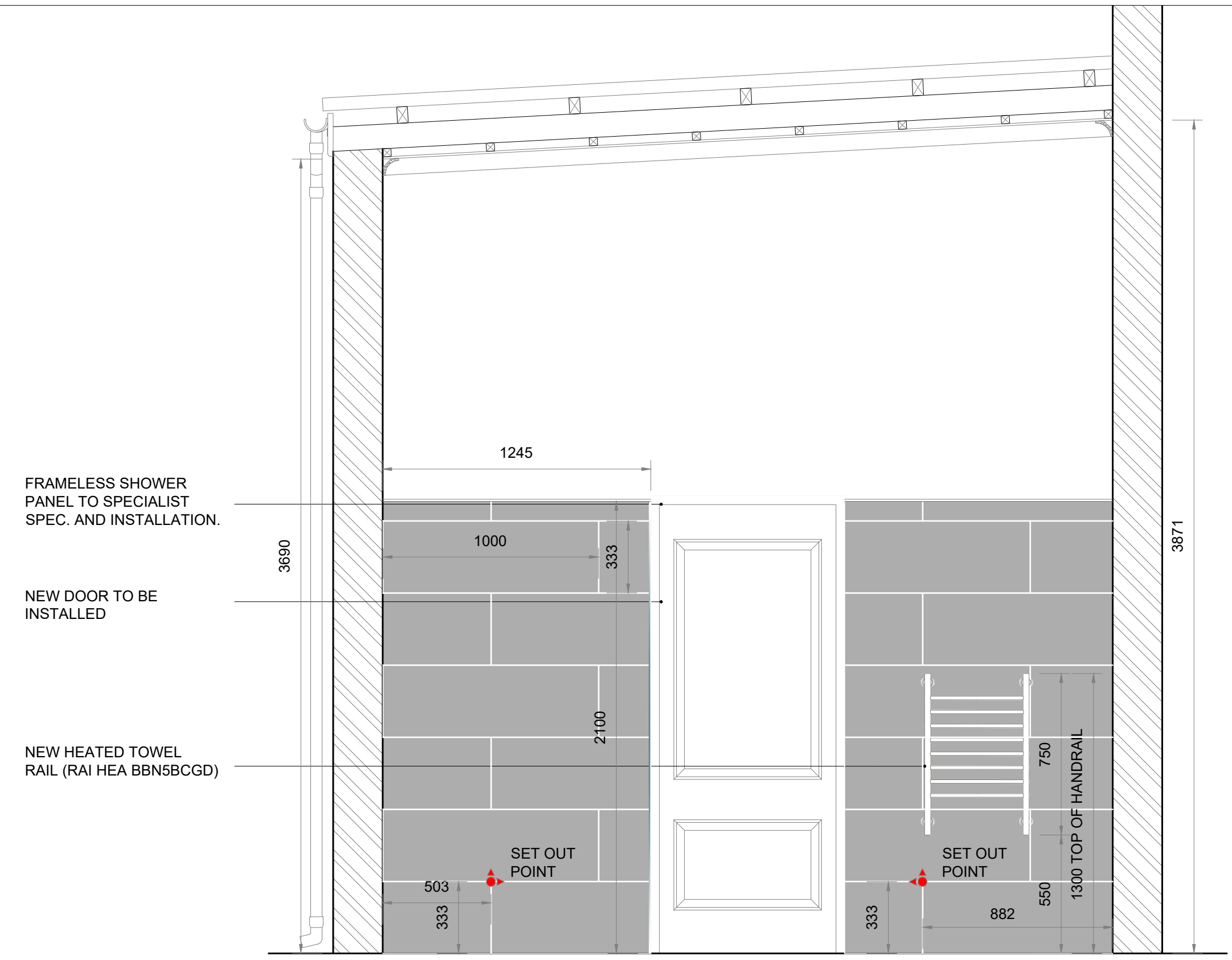


Bathroom 02 | SCALE 1:20

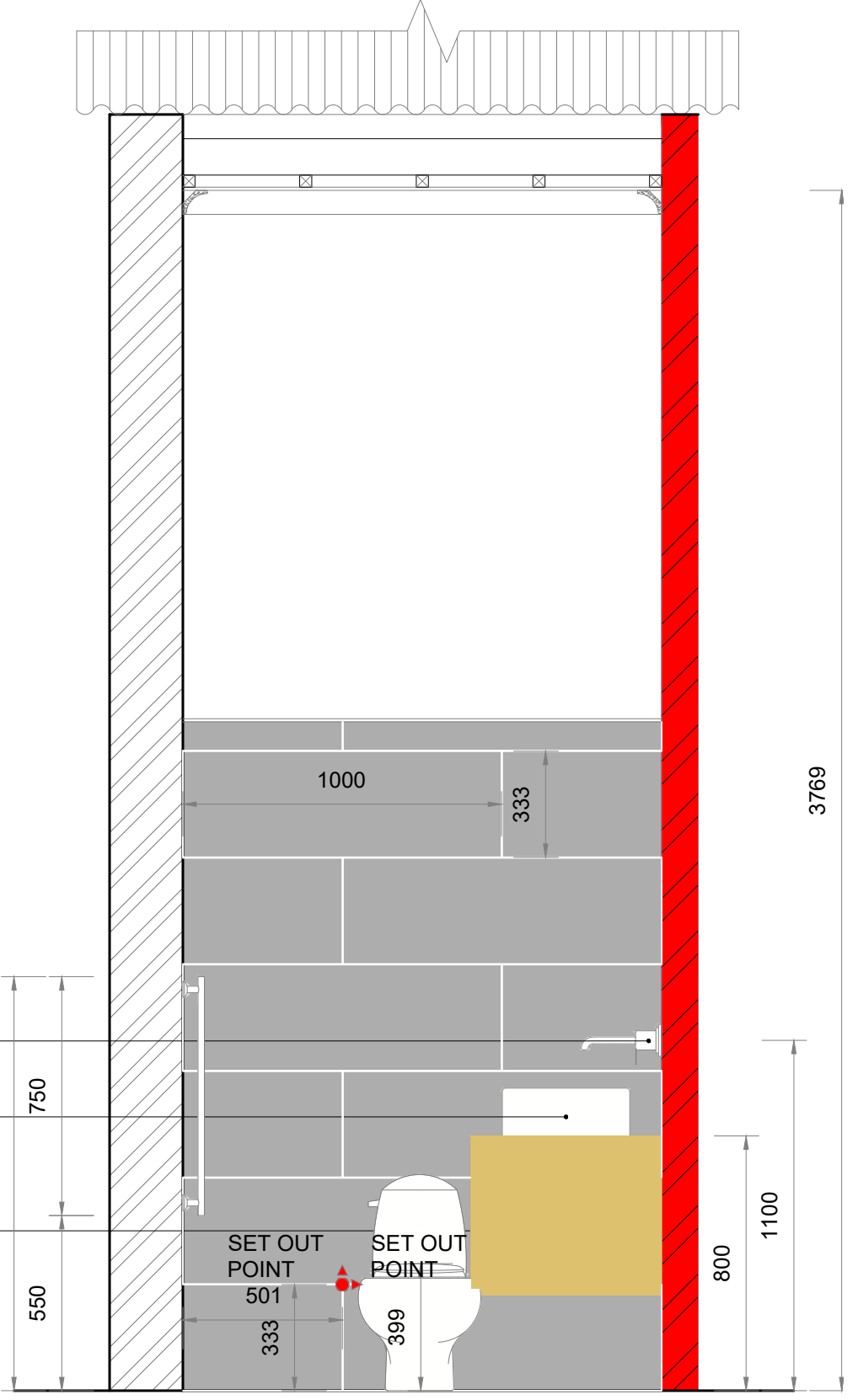
- BT NEO S/S CONCEALED MIXER NM0S000 - FROM STILES
- BT SHOWER ROSE PLASTIC S/S COLOR 250MM FROM STILES
- 50-75MM HYDROTEC SARAH-LEE HORIZONTAL SHOWER TRAP
- BT SHOWER ARM 400MM S/S SA02440S - FROM STILES
- FRAMELESS SHOWER PANEL TO SPECIALIST SPEC. AND INSTALLATION.
- NEW DOOR TO BE INSTALLED
- NEW HEATED TOWEL RAIL (RAI HEA BBN5BCGD) FROM STILES TILES



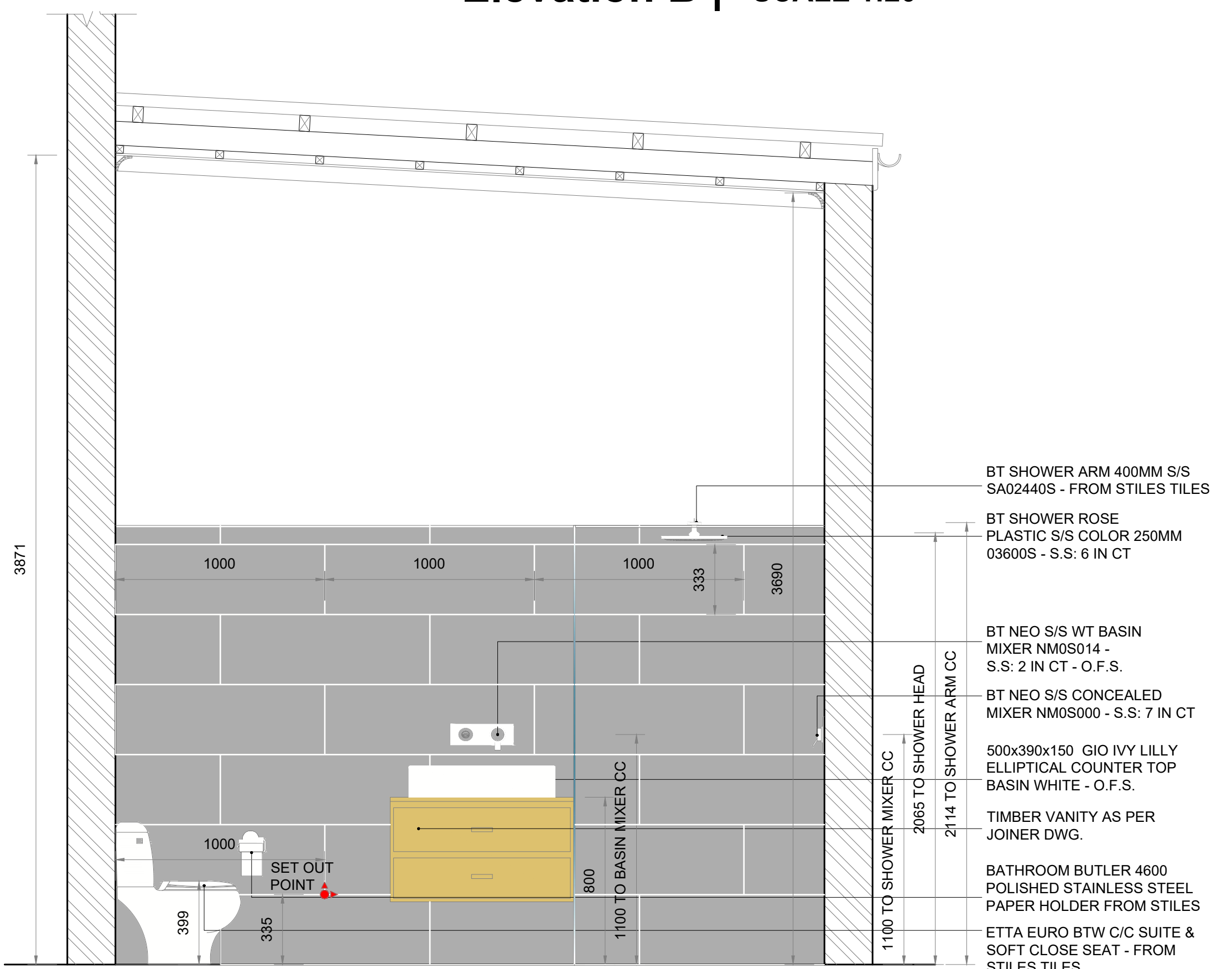
Elevation A | SCALE 1:20



Elevation B | SCALE 1:20



Elevation C | SCALE 1:20



Elevation D | SCALE 1:20



- BT NEO S/S WT BASIN MIXER NM0S014 - FROM STILES TILES
- 500x390x150 GIO IVY LILLY ELLIPTICAL COUNTER TOP BASIN WHITE - FROM STILES
- TIMBER VANITY AS PER JOINER DWG.
- ETTA EURO BTW C/C SUITE & SOFT CLOSE SEAT - FROM STILES TILES

- BT SHOWER ARM 400MM S/S SA02440S - FROM STILES TILES
- BT SHOWER ROSE PLASTIC S/S COLOR 250MM 03600S - S.S. 6 IN CT
- BT NEO S/S WT BASIN MIXER NM0S014 - S.S. 2 IN CT - O.F.S.
- BT NEO S/S CONCEALED MIXER NM0S000 - S.S. 7 IN CT
- 500x390x150 GIO IVY LILLY ELLIPTICAL COUNTER TOP BASIN WHITE - O.F.S.
- TIMBER VANITY AS PER JOINER DWG.
- BATHROOM BUTLER 4600 POLISHED STAINLESS STEEL PAPER HOLDER FROM STILES
- ETTA EURO BTW C/C SUITE & SOFT CLOSE SEAT - FROM STILES TILES

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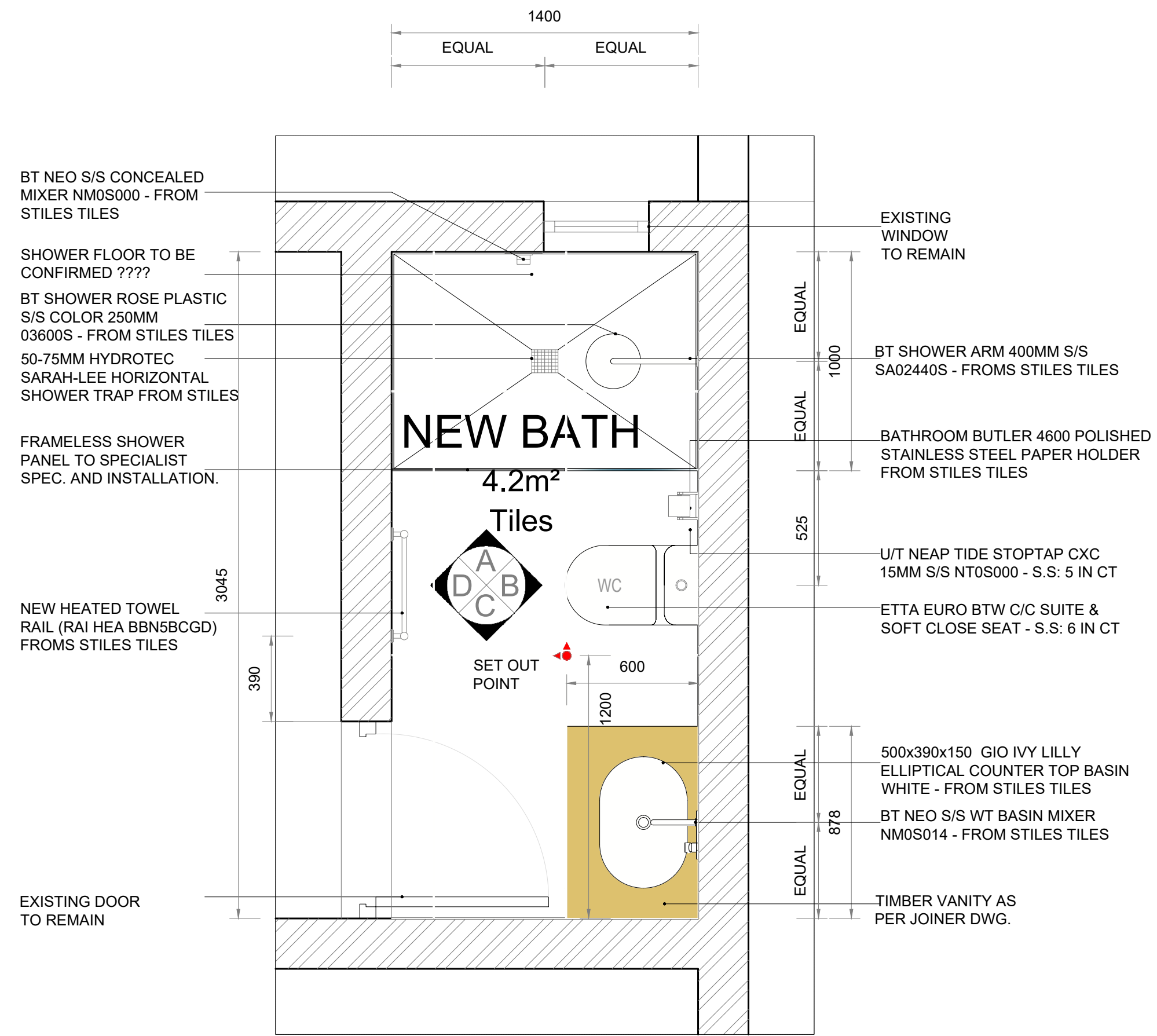
CLIENT / CLIENT REPRESENTATIVE:
 MFL 1009
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 Daleen Holloway
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TITLE	TITLE	PROJEK	PROJECT
BATHROOM LAYOUT - 02		PROPOSED ALTERATIONS TO EXISTING DWELLING ON ERF 468 BEAUFORT WEST FOR MR LEBO	
SKAAL	As Indicated	SCALE	
GETEKEN	C.M	DRAWN	
NAGESIEN	C.D	CHECKED	
DATUM	2023/06/08	DATE	
FOR COUNCIL			

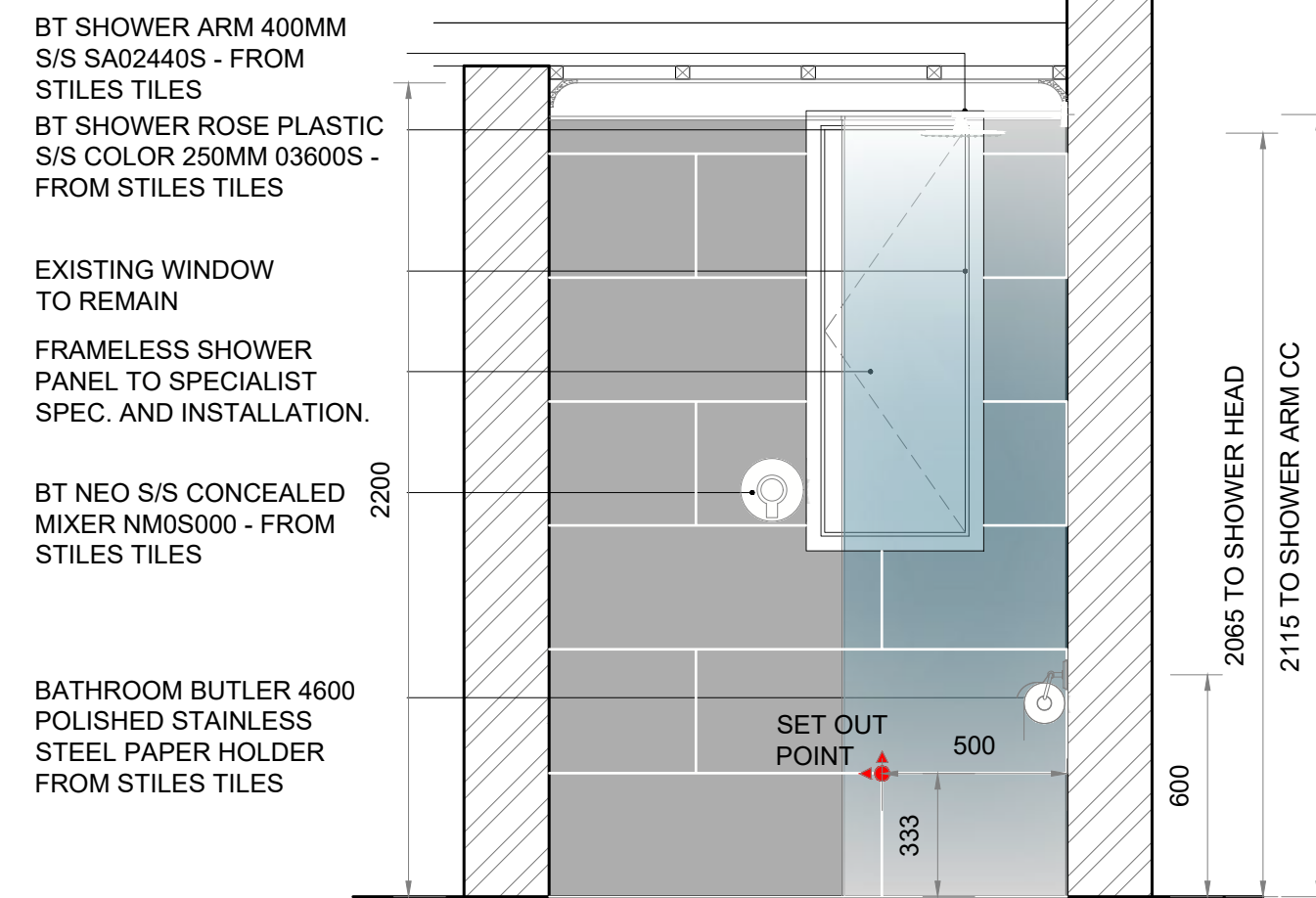
PROJ. NO. 2023_27_007_REV 00
DRWG. NR.
 Unit 4, Myrtle House
 2 Church Street,
 Hermanus 7200
 Daleen Holloway - Pr Srv Arch T
 SACAP Registration - PSAT20714
 daleen@hollowayanddavel.com
 079 502 6645
 Christian Davel - PrArch
 SACAP Registration-PrArch 38855809
 christian@hollowayanddavel.com
 082 923 3515
 www.hollowayanddavel.com



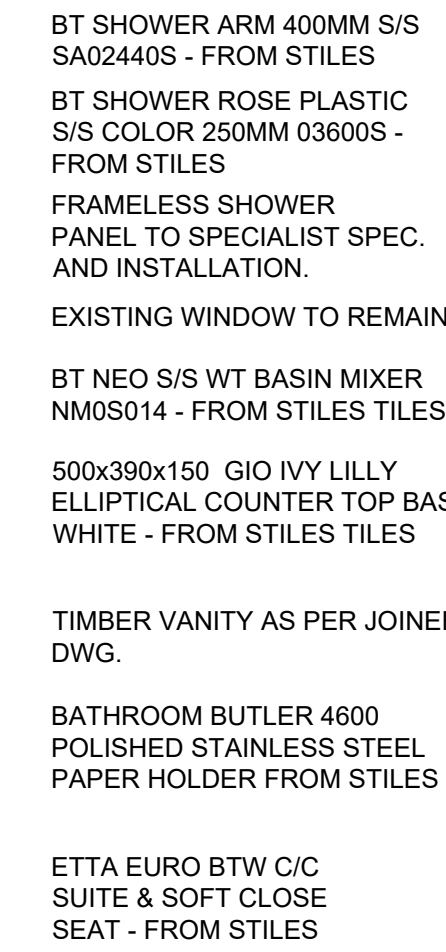
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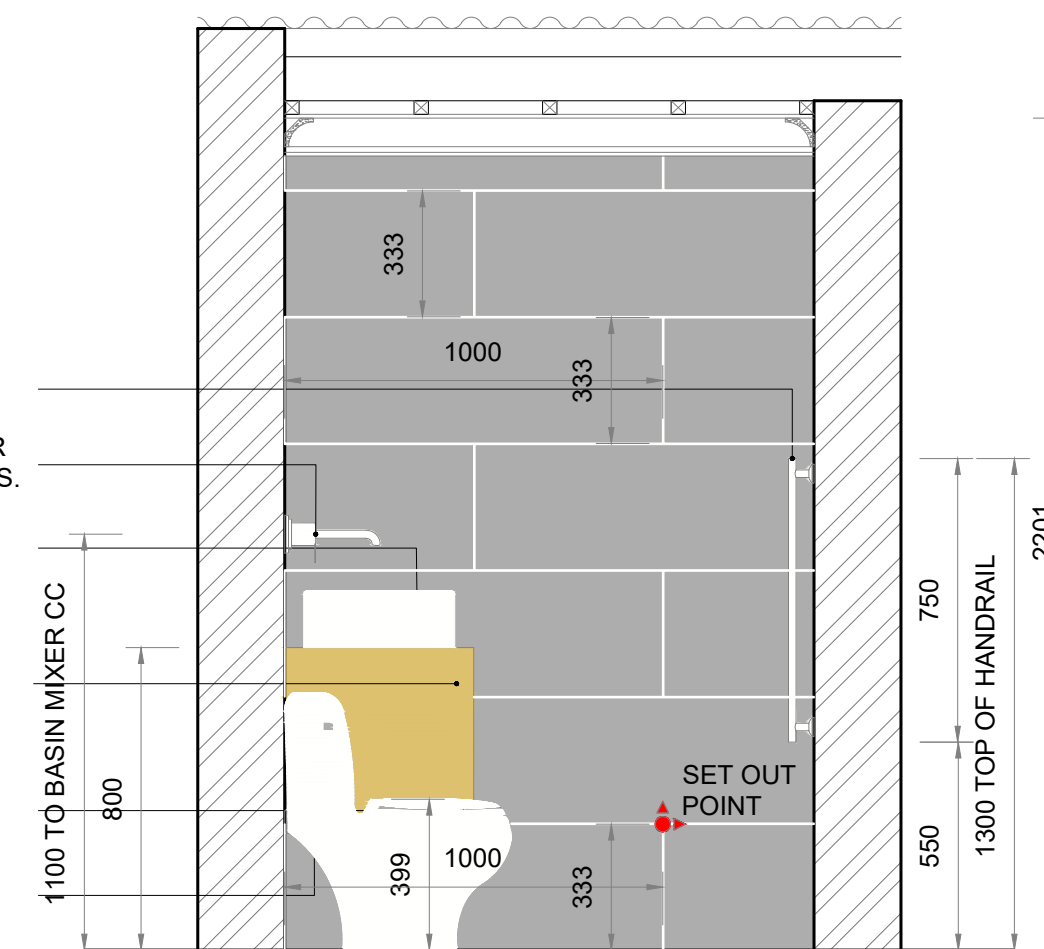
Bathroom 03 | SCALE 1:20



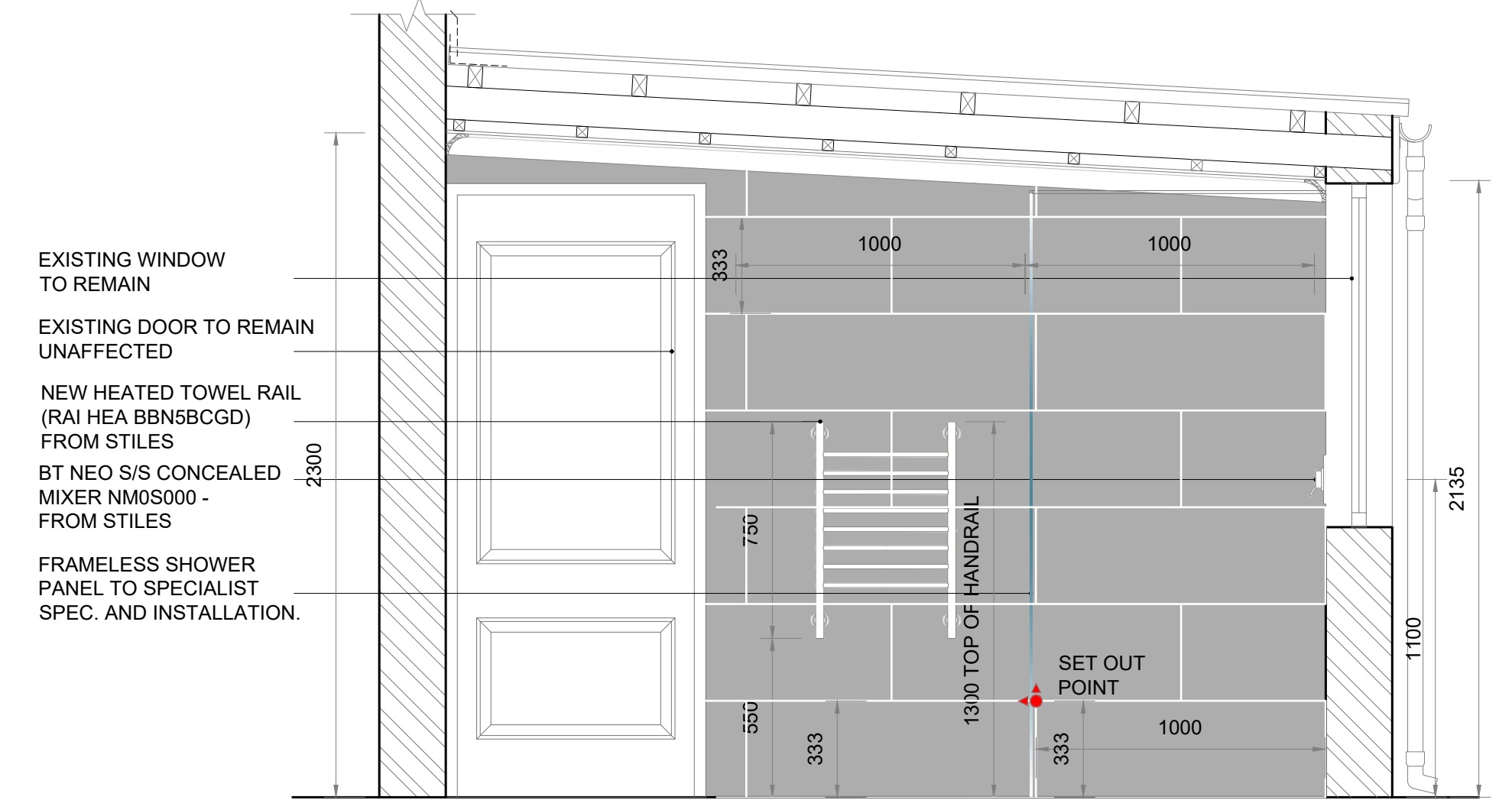
Elevation A | SCALE 1:20



Elevation B | SCALE 1:20



Elevation C | SCALE 1:20



Elevation D | SCALE 1:20



NEW HEATED TOWEL RAIL (RAI HEA BBN5BCGD)
 BT NEO S/S WT BASIN MIXER NM0S014 - S.S: 2 IN CT - O.F.S.
 500x390x150 GIO IVY LILLY ELLIPTICAL COUNTER TOP BASIN WHITE - O.F.S.
 TIMBER VANITY AS PER JOINER DWG/PDF
 ETTA EURO BTW C/C SUITE & SOFT CLOSE SEAT - S.S: 6 IN CT
 U/T NEAP TIDE STOPTAP CXC 15MM S/S NTOS000 - FROM STILES TILES

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 ALL DIMENSIONS INDICATED ON PLAN TO BE SET OUT ON A LEVEL HORIZONTAL PLANE.
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 Professional Architect
 SACAP Registration:
 PrArch38855809
 Daleen Holloway
 Prof Srv Arch Tech
 SACAP Registration:
 PSAT 20714

PROJECT STATUS:
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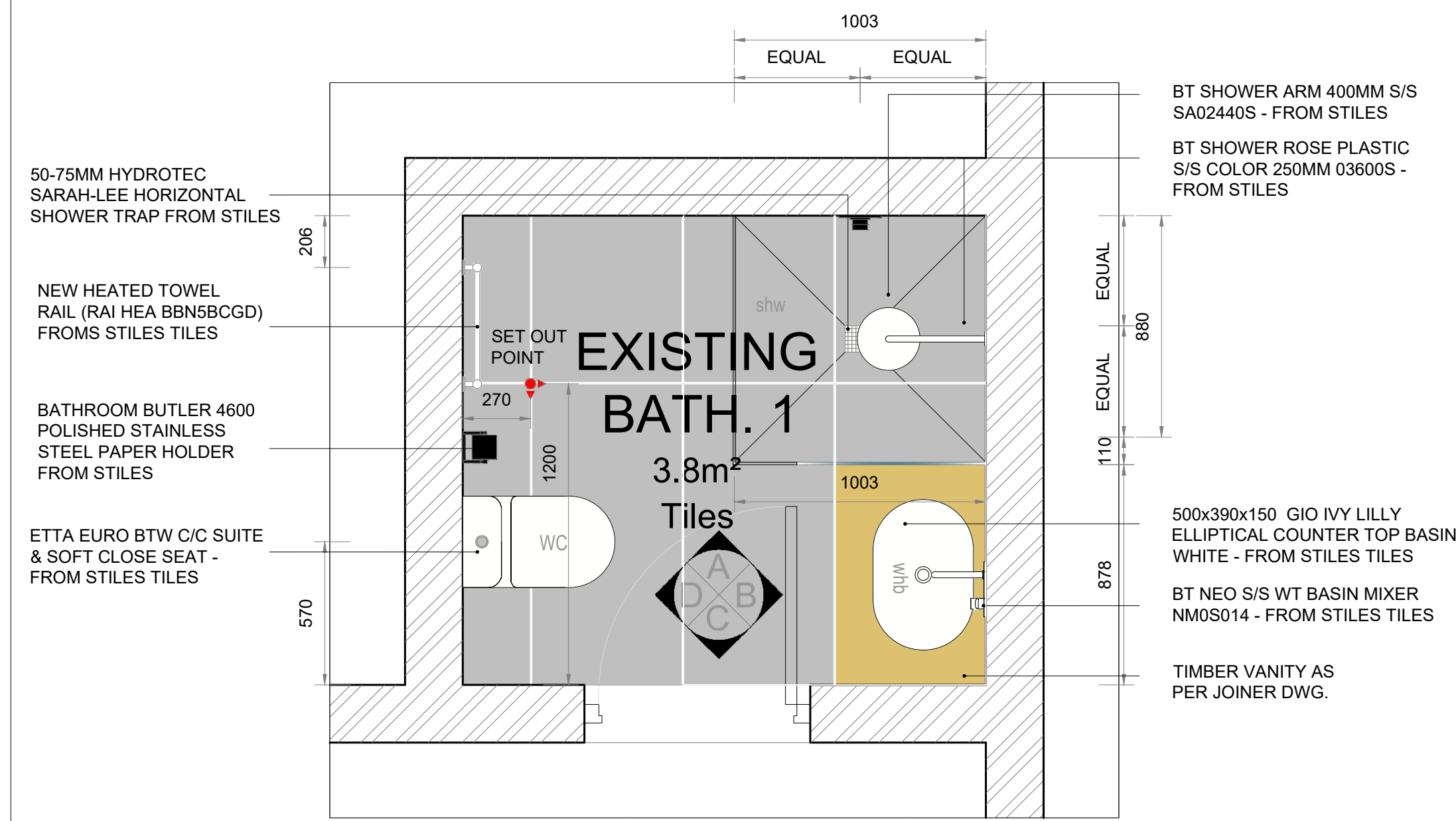
TITLE	SCALE	DATE
BATHROOM LAYOUT - 03	As Indicated	2023/06/08
SKAAL	As Indicated	SCALE
GETEKEN	C.M	DRAWN
NAGESIEN	C.D	CHECKED
DATUM	2023/06/08	DATE

FOR COUNCIL

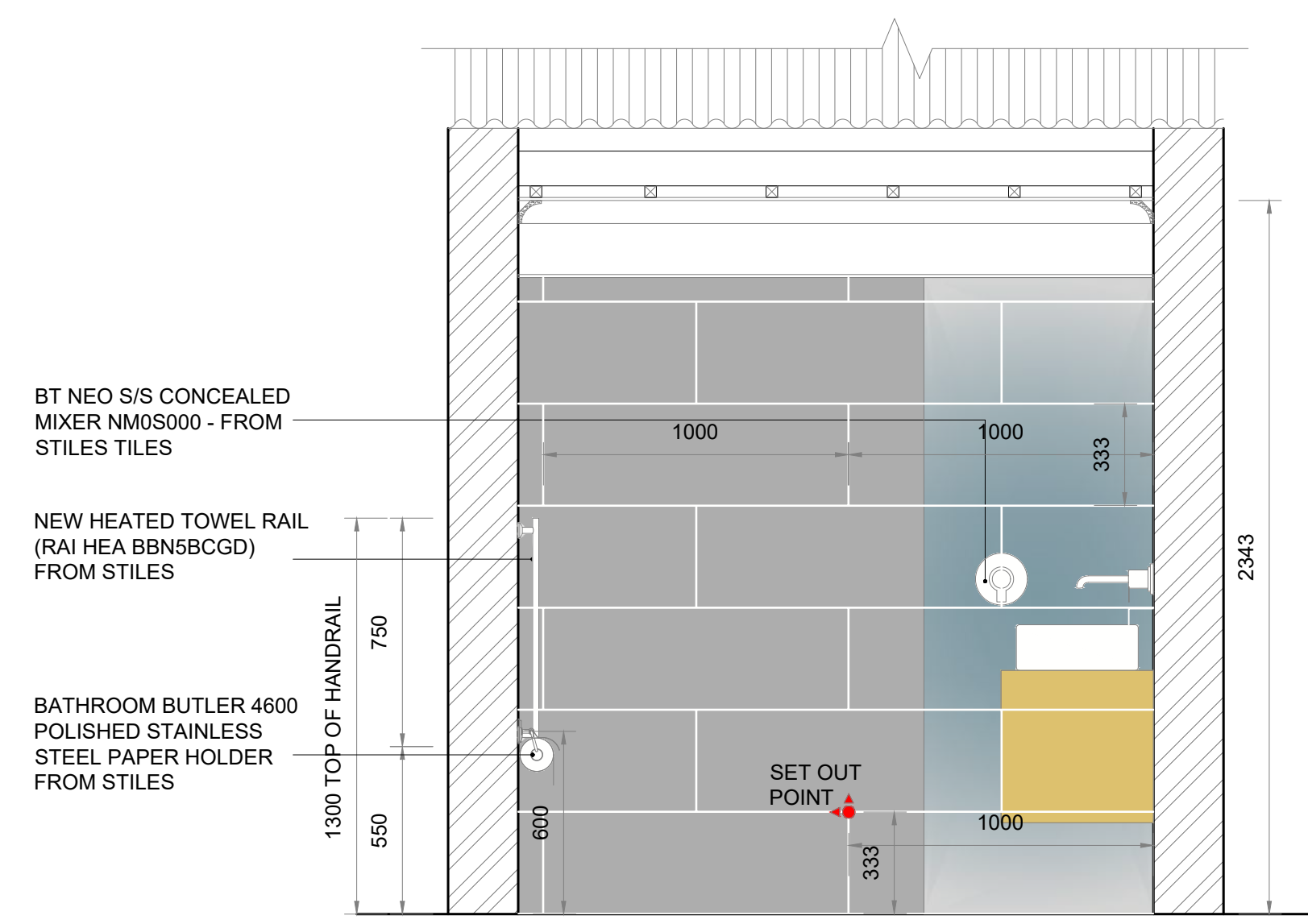
PROJEK
 PROPOSED ALTERATIONS TO EXISTING DWELLING ON ERF 468 BEAUFORT WEST FOR MR LEBO
TEK. NO.
 2023_27_008_REV 00
DRWG. NR.
 www.hollowayanddavel.com
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 Daleen Holloway - Pr Srv Arch T
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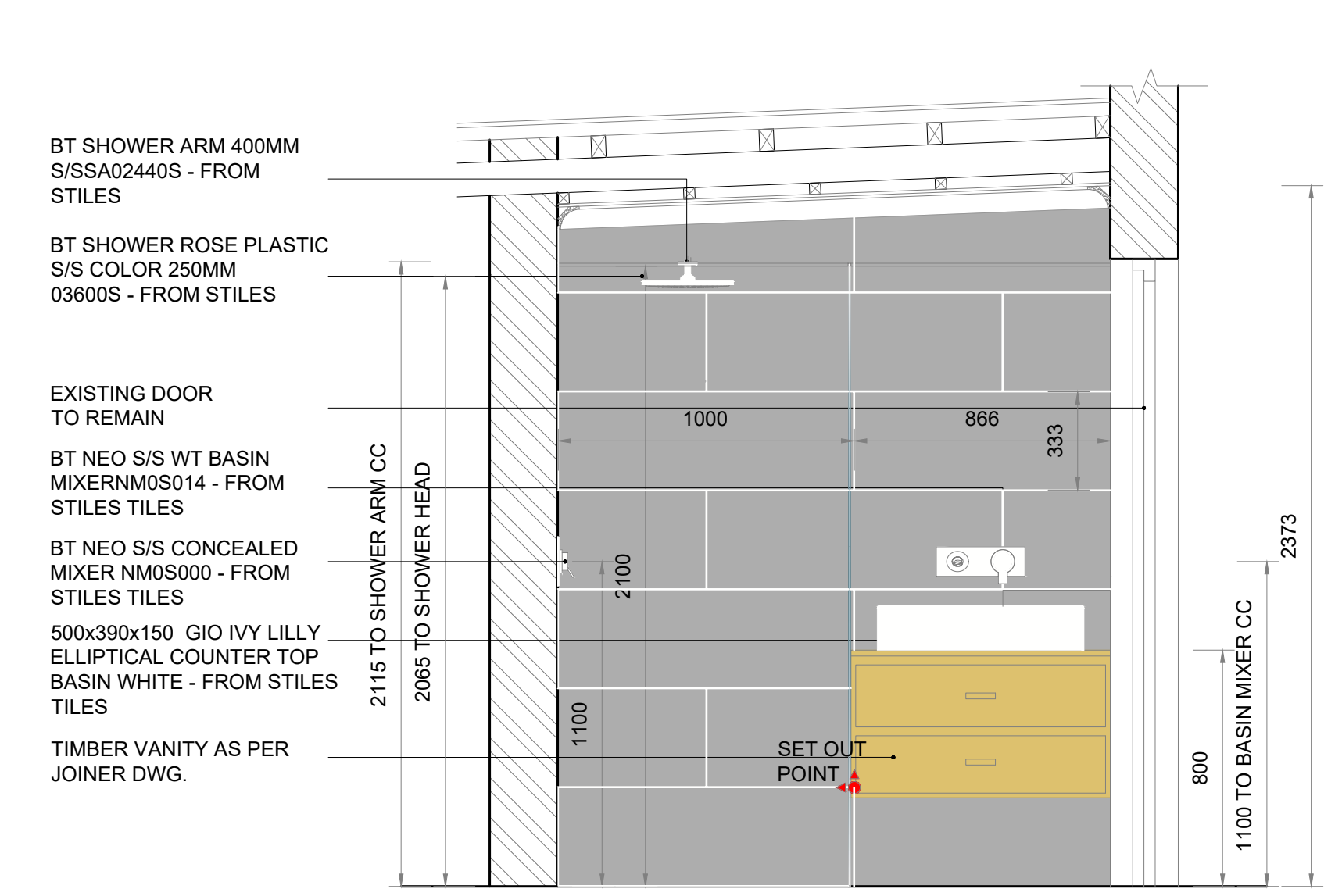
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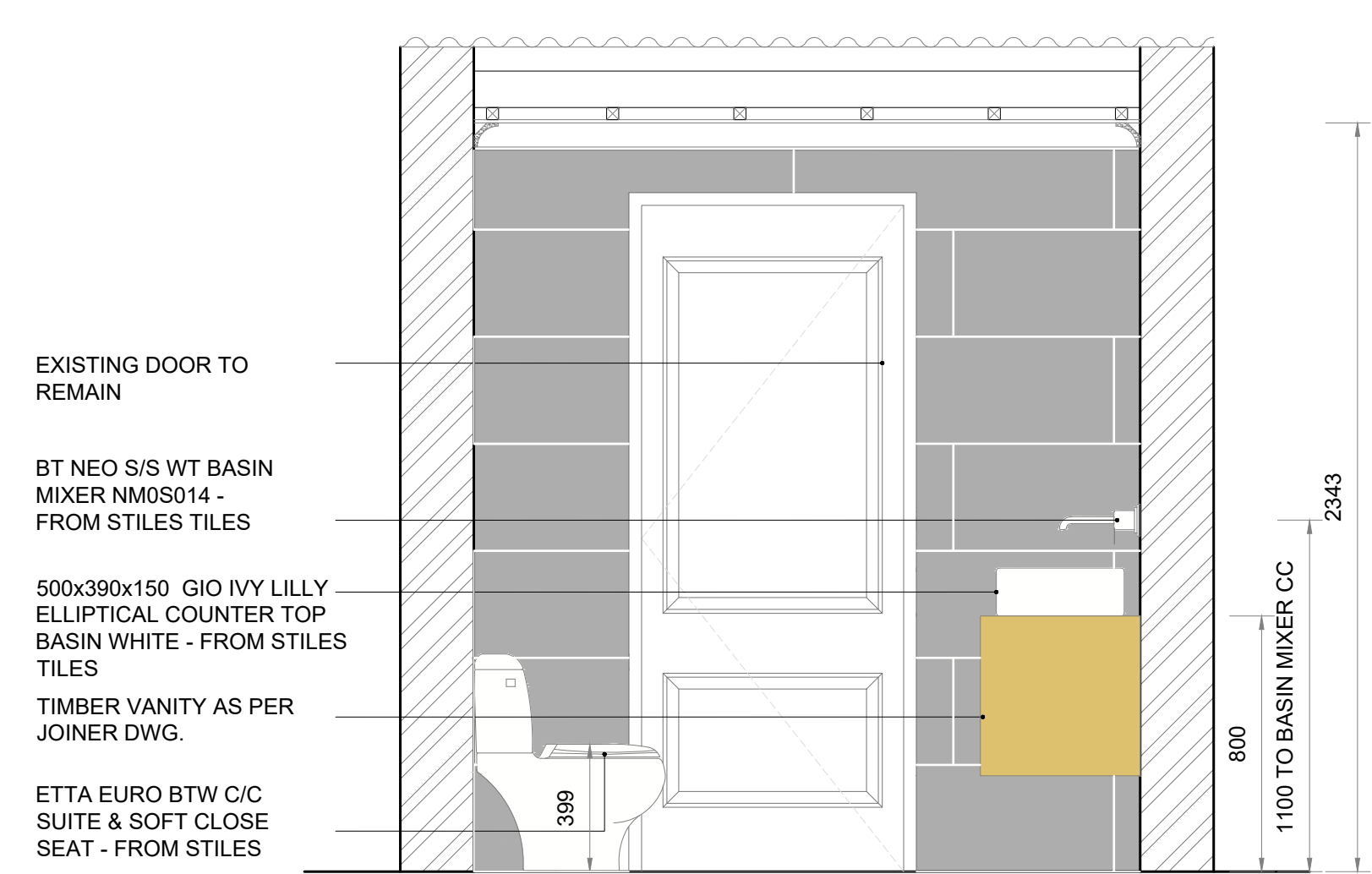
Bathroom 04 | SCALE 1 :20



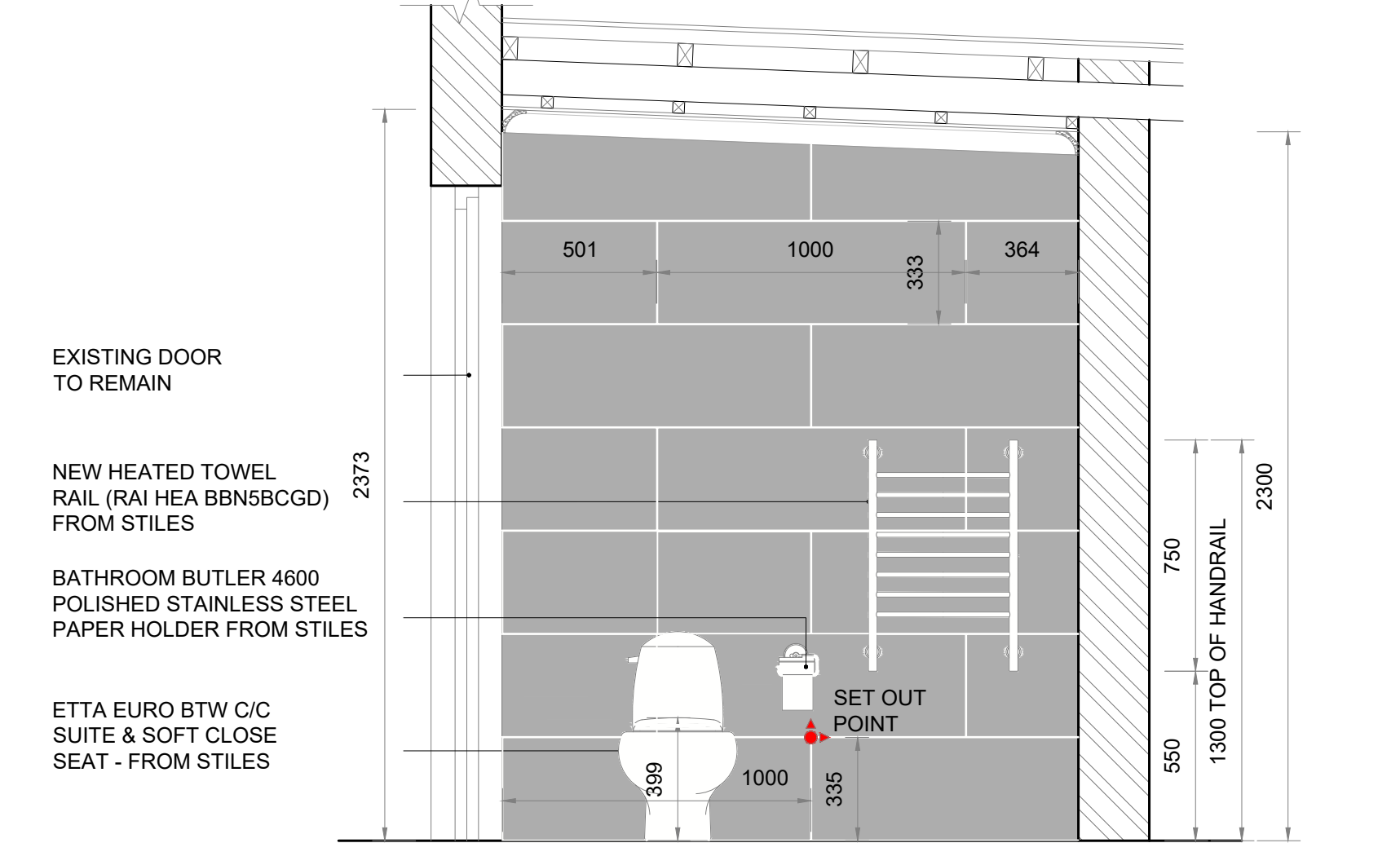
Elevation A | SCALE 1:20



Elevation B | SCALE 1:20



Elevation C | SCALE 1:20



Elevation D | SCALE 1:20

Heritage Western Cape
Erfenis Wes-Kaap
Ilifa leMveli leNtshona Koloni

18 September 23

W. Holloway

APPROVED

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Christian Davel
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Daleen Holloway
Prof Srv Arch Tech
SACAP Registration:
PSAT 20714

PROJECT STATUS:
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TITLE	SCALE	TITLE	SCALE
BATHROOM LAYOUT - 04	As Indicated	SKAAL	As Indicated
GETEKEN	C.M	DRAWN	C.M
NAGESIEN	C.D	CHECKED	C.D
DATUM	2023/06/08	DATE	2023/06/08

FOR COUNCIL

PROJEK
PROPOSED ALTERATIONS TO EXISTING DWELLING ON ERF 468 BEAUFORT WEST FOR MR LEBO

TEK. NO.
2023_27_009_REV 00

DRWG. NR.

Unit 4, Myrtle House
2 Church Street,
Hermanus 7200

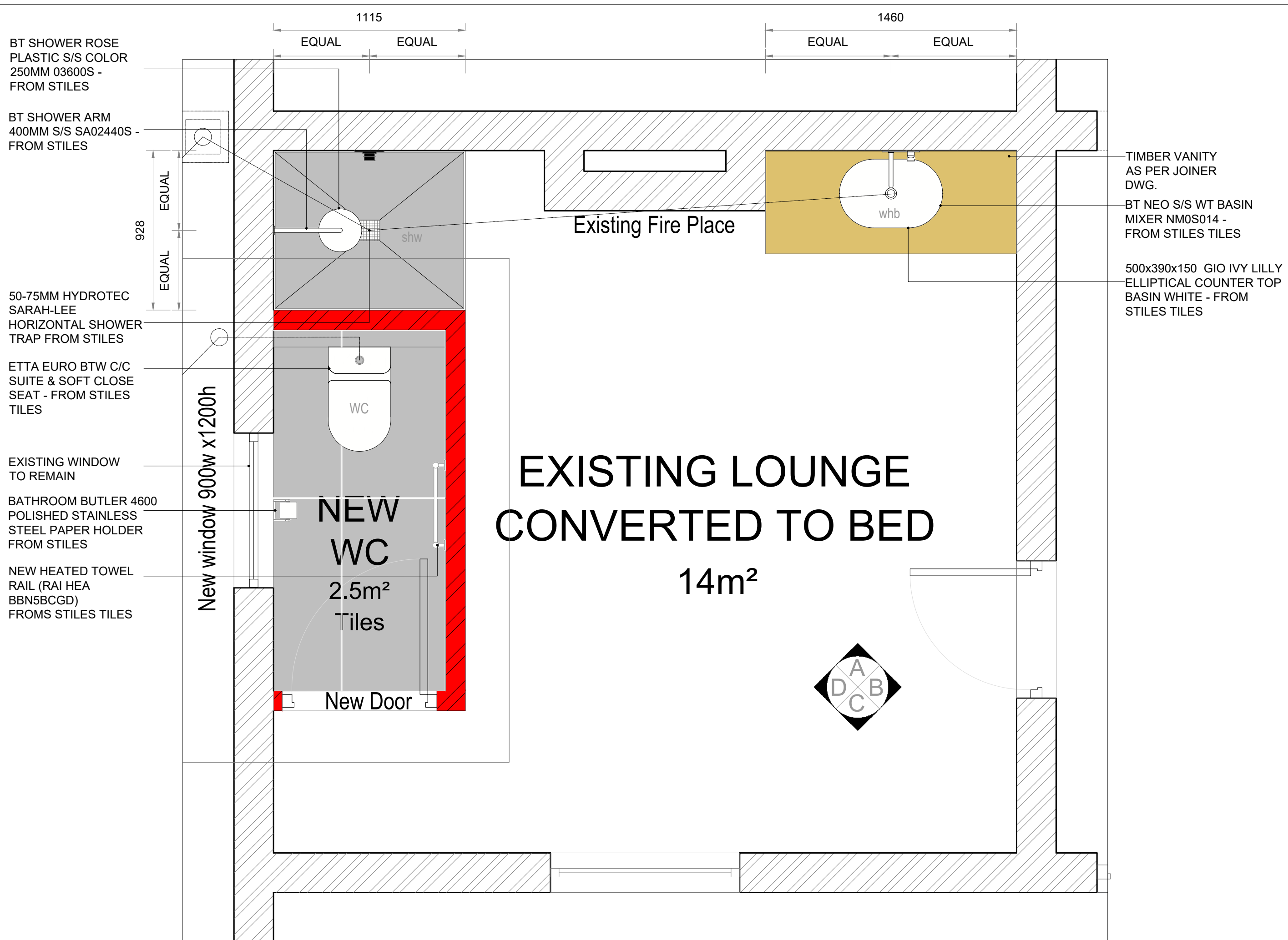
Daleen Holloway - Pr Srv Arch T
SACAP Registration - PSAT20714
daleen@hollowayanddavel.com
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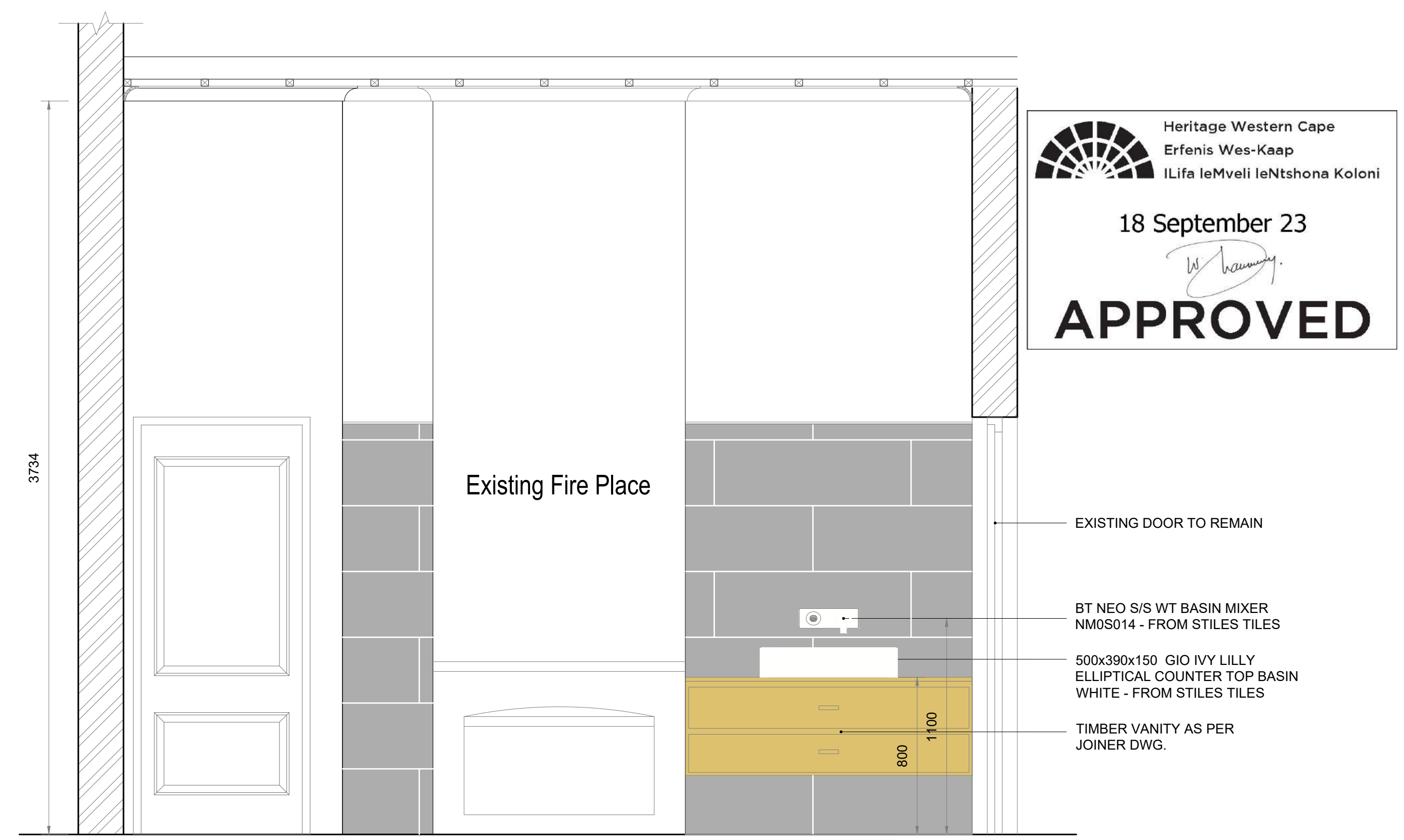
Christian Davel- PrArch
SACAP Registration-PrArc 38855809
christiaan@hollowayanddavel.com
082 923 3515

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+
DAVEL
ARCHITECTS

IF IN DOUBT ASK DONT ASSUME



Bathroom 06 | SCALE 1:20



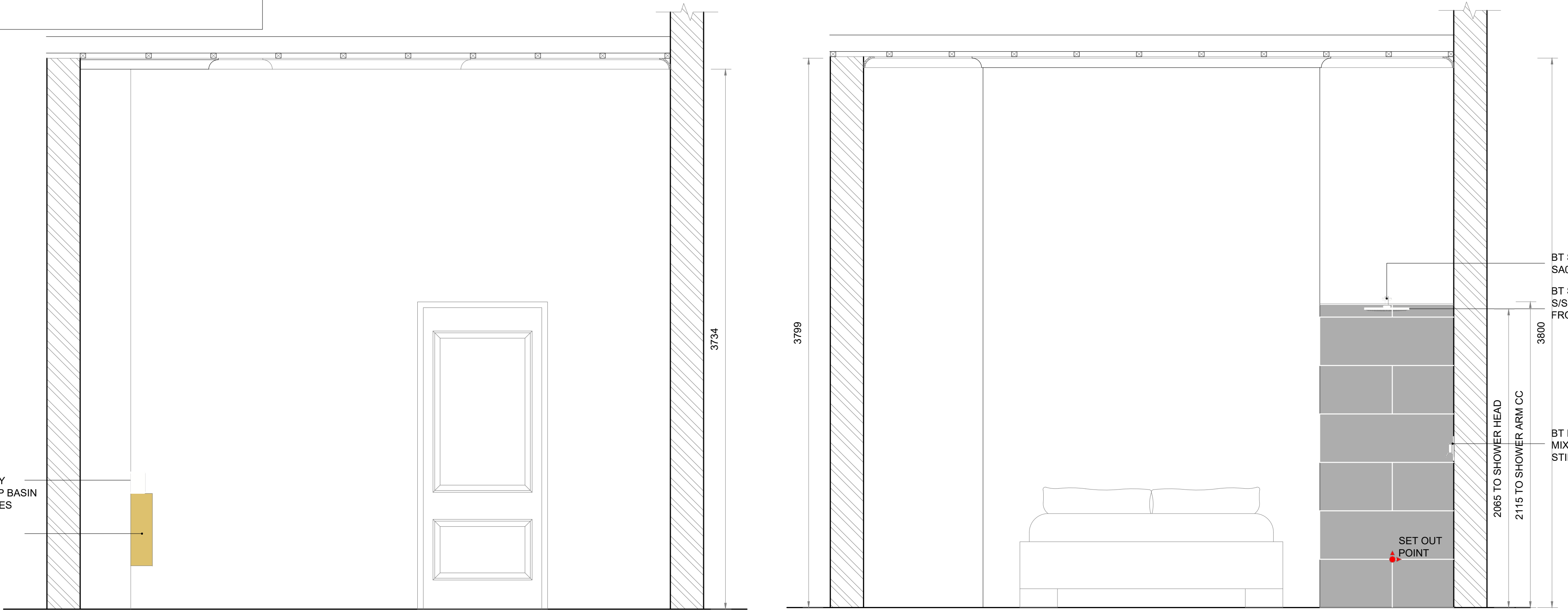
Elevation A | SCALE 1:20

Heritage Western Cape
Erfenis Wes-Kaap
ILifa leMveli leNtshona Koloni

18 September 23

W. Holloway

APPROVED



Elevation B | SCALE 1:20

Elevation D | SCALE 1:20

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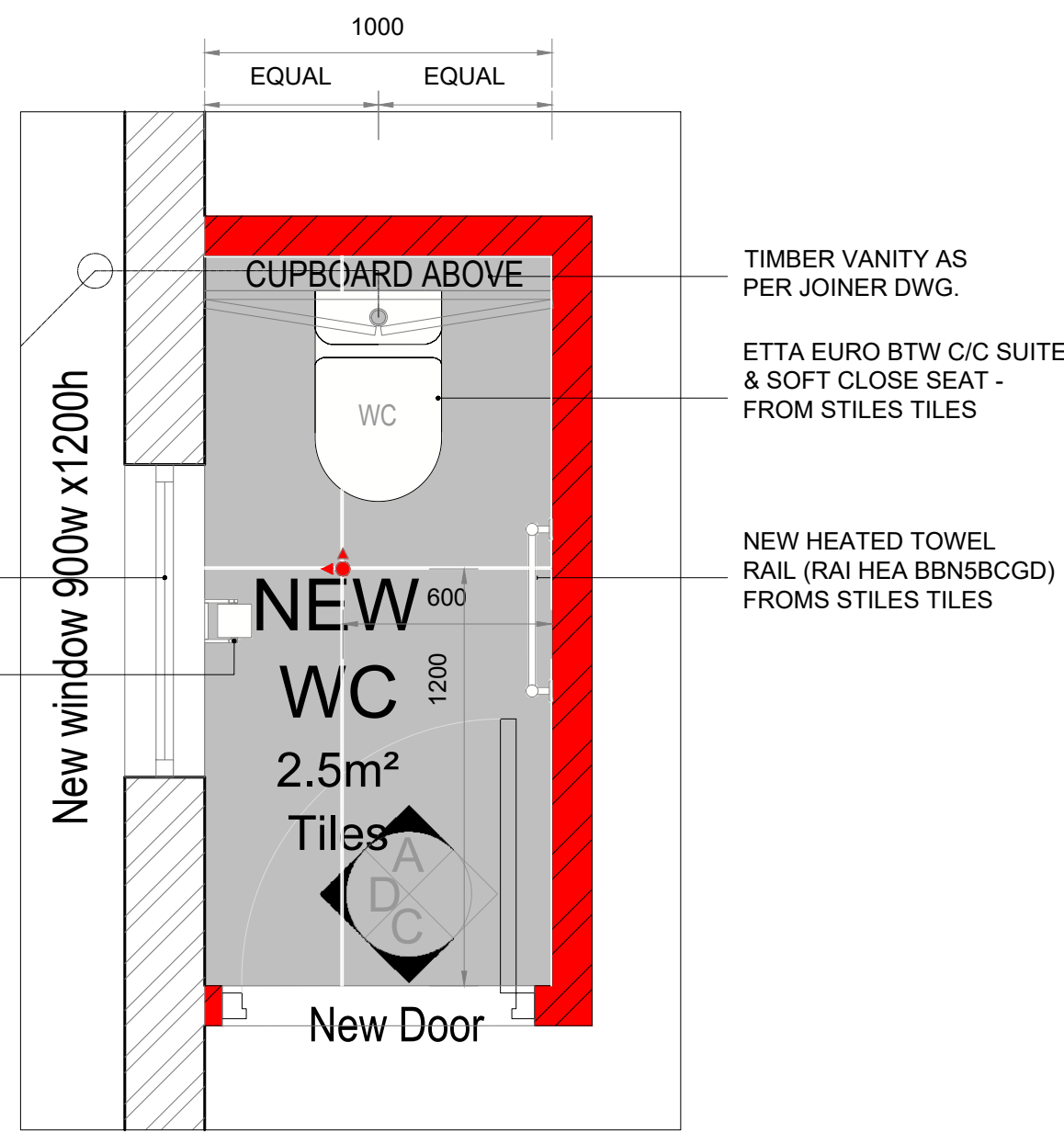
TITLE	TITLE	PROJEK	PROJECT
BATHROOM LAYOUT - 06		PROPOSED ALTERATIONS TO EXISTING DWELLING ON ERF 468 BEAUFORT WEST FOR MR LEBO	
SKAAL	As Indicated	SCALE	
GETEKEN	T.M	DRAWN	
NAGESIEN	C.D	CHECKED	
DATUM	2023/06/08	DATE	
FOR COUNCIL			
<p>PROJECT STATUS: NOTE: THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED ACCORDINGLY</p>			

TEK. NO.	DRWG. NR.
2023_27__011_REV 00	
<p>Unit 4, Myrtle House 2 Church Street, Hermanus 7200</p> <p>Daleen Holloway - Pr Srv Arch T SACAP Registration - PSAT20714 daleen@hollowayanddavel.com 079 502 6645</p> <p>Christian Davel- PrArch SACAP Registration-PrArc 38855809 christiaan@hollowayanddavel.com 082 923 3515</p>	

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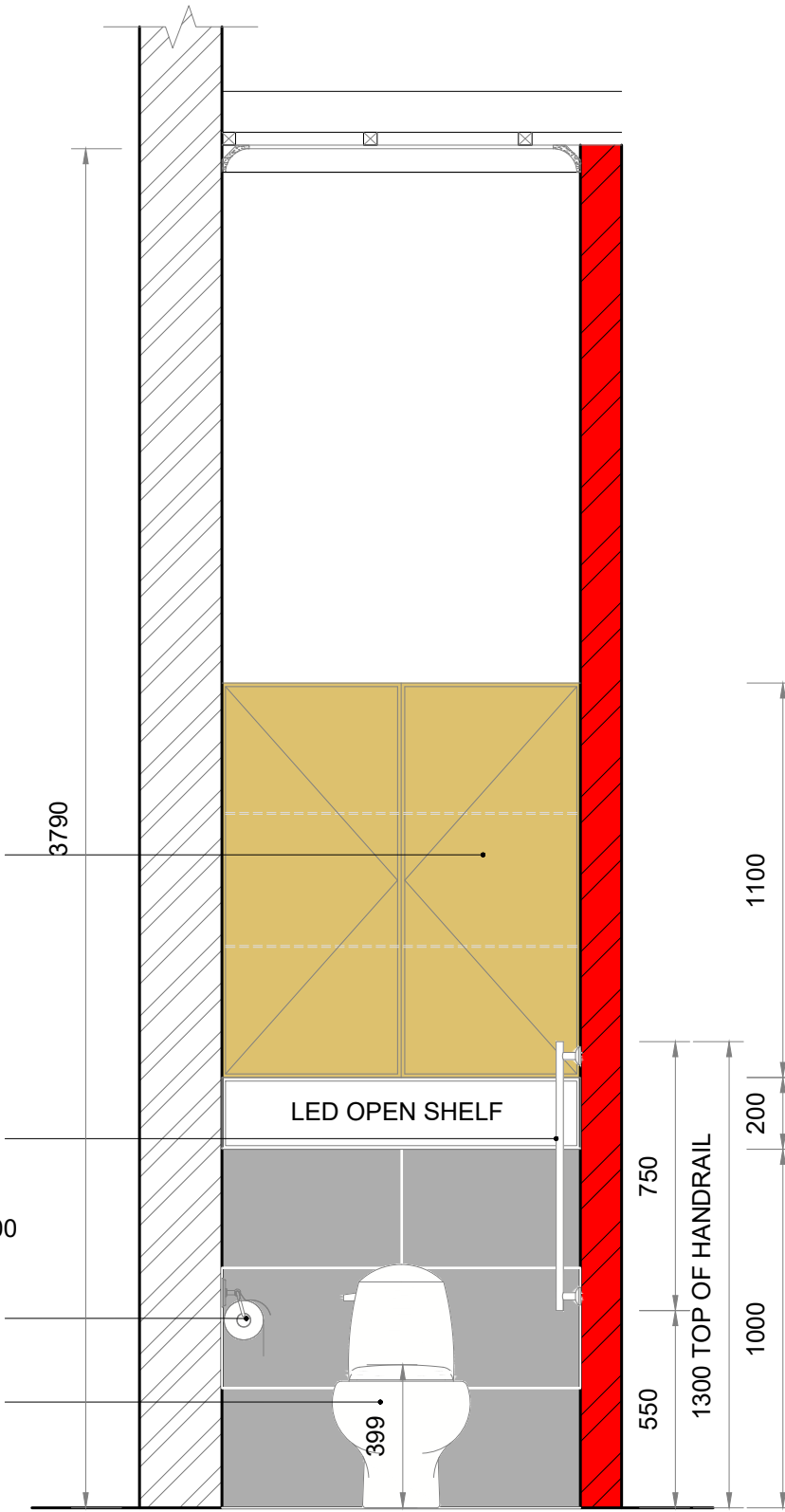
IF IN DOUBT ASK DONT ASSUME



Bathroom 06 - 01 | SCALE 1:20

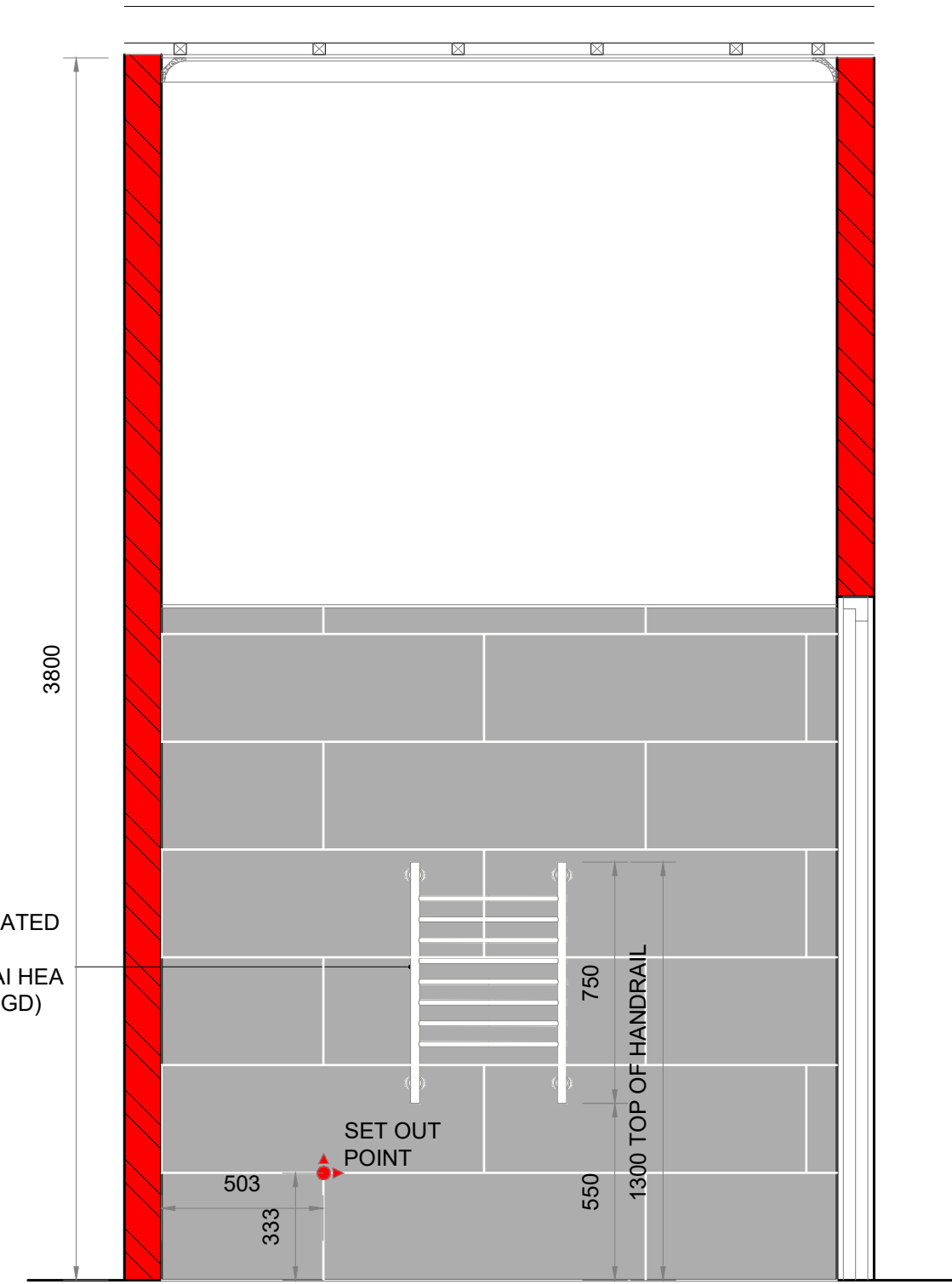
TIMBER VANITY AS PER JOINER DWG.

NEW HEATED TOWEL RAIL (RAI HEA BBN5BCGD) FROM STILES
 BATHROOM BUTLER 4600 POLISHED STAINLESS STEEL PAPER HOLDER FROM STILES
 ETTA EURO BTW C/C SUITE & SOFT CLOSE SEAT - FROM STILES TILES



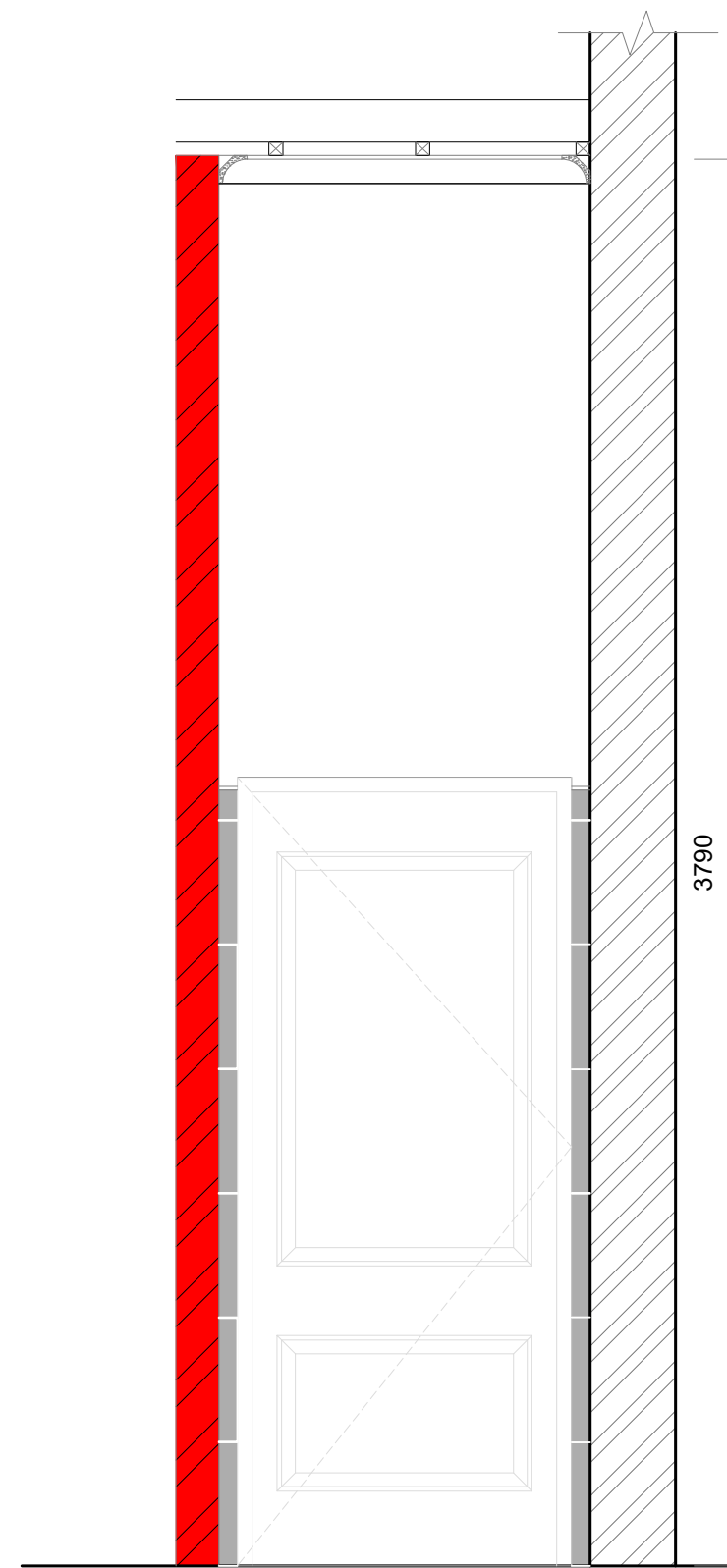
Elevation A | SCALE 1:20

NEW HEATED TOWEL RAIL (RAI HEA BBN5BCGD)



Elevation B | SCALE 1:20

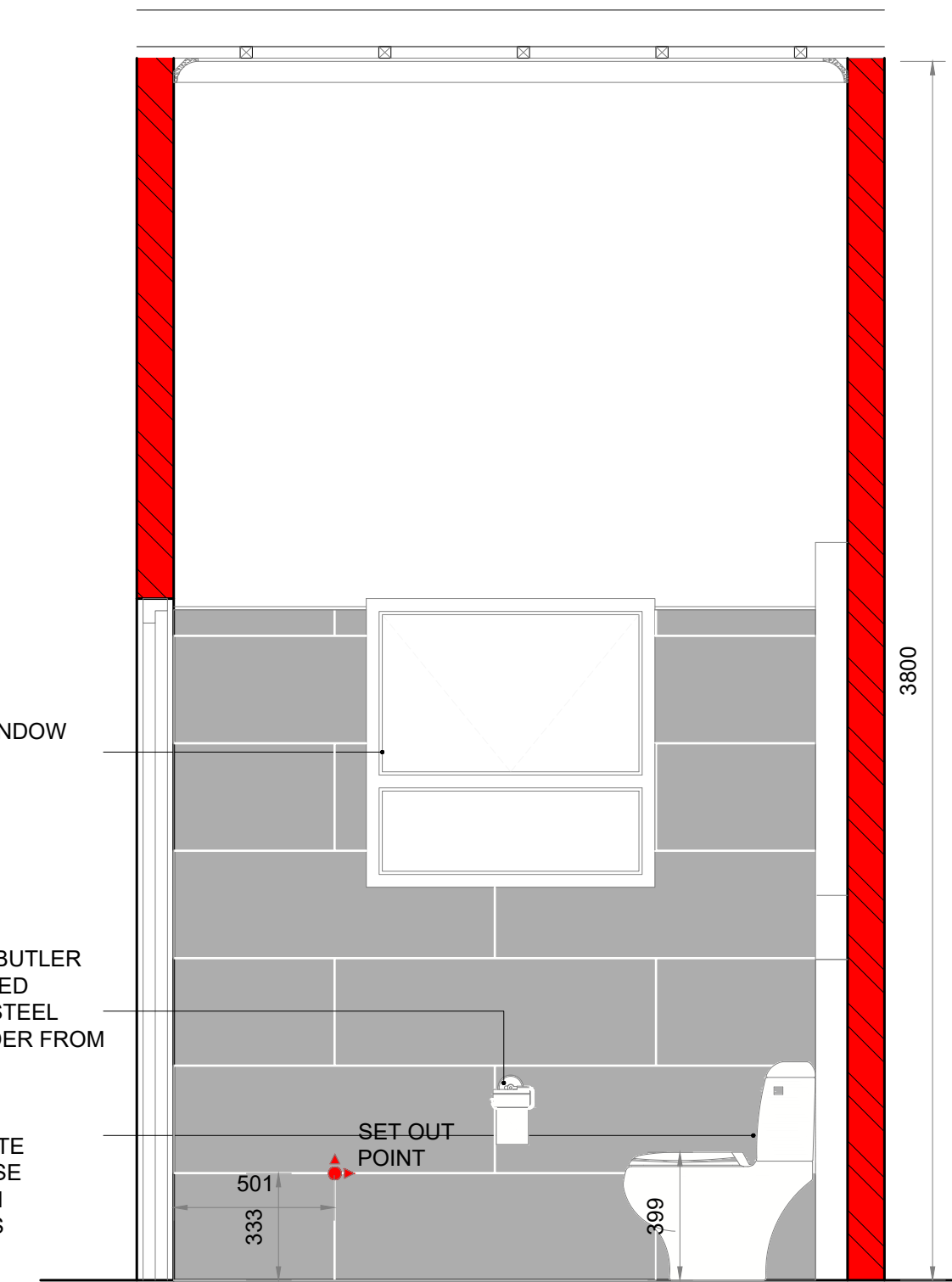
Elevation C | SCALE 1:20



EXISTING WINDOW TO REMAIN

BATHROOM BUTLER 4600 POLISHED STAINLESS STEEL PAPER HOLDER FROM STILES

ETTA EURO BTW C/C SUITE & SOFT CLOSE SEAT - FROM STILES TILES



Elevation D | SCALE 1:20



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